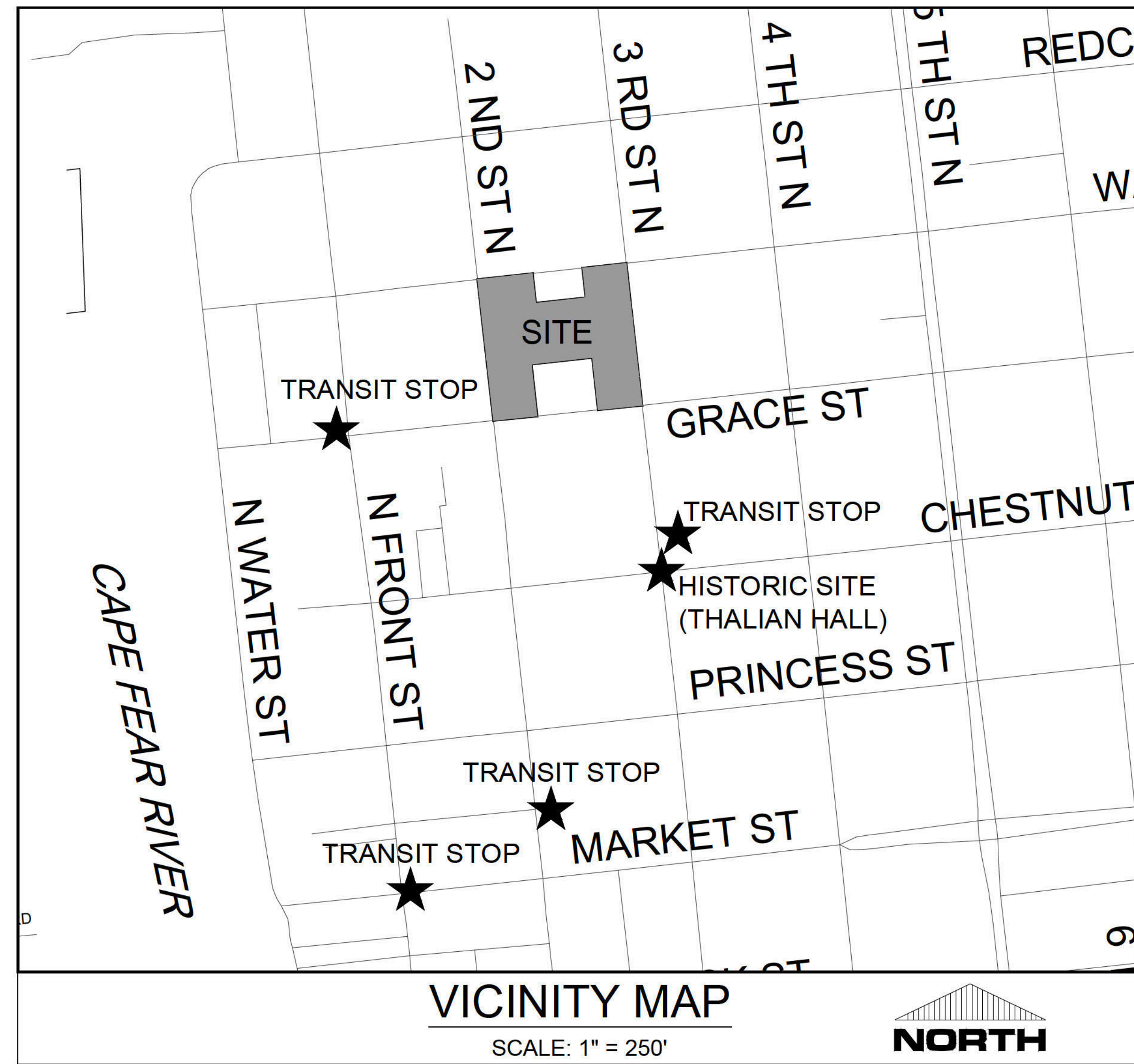


RIVERBEND @ 2ND & GRACE

316 N. 2ND STREET
WILMINGTON, NORTH CAROLINA

TRC FINAL DOCUMENTS
NOV. 2020



VICINITY MAP
SCALE: 1" = 250'

SURVEYORS:
HANOVER DESIGN SERVICES, PA
1123 FLORAL PARKWAY
WILMINGTON, NC 28403

PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NC 28403

OWNER / DEVELOPER:
RIVERBEND #1, LLC
316 N. 2ND STREET
WILMINGTON, NC 28401
(PO BOX 1087 | WEST END, NC 27376)

GENERAL CONTRACTOR:
GLANCEY AND THEYS CONSTRUCTION
2250 SHIPYARD BLVD, SUITE #1
WILMINGTON, NORTH CAROLINA 28403

ARCHITECT:
LS3P
101 N. 3RD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
ATTN: DANNY ADAMS (910) 790-9901

ENGINEER (CIVIL) & LANDSCAPE ARCHITECT:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: BRANCH SMITH (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0-1.1	GENERAL NOTES
C-2.0-2.1	SITE & SITE INVENTORY PLANS
C-2.2	DEMO & EROSION CONTROL PLAN
C-3.0	GRADING & DRAINAGE PLAN
C-4.0	UTILITY PLAN
C-5.0-5.2	CIVIL DETAILS
C-5.3	CFPUA UTILITY DETAILS
L-1.0	LANDSCAPE PLAN

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: JEFF WALTON, PLANNER
PH: 910-341-4665

ATTN: ZONING INSPECTIONS
PH: 910-254-0968

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-3927

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0996

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEPT C&C PH: 1-800-462-2777

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

SPECTRUM / TIME WARNER
GENERAL PH: 800-892-4357

STEVE BARNETTE 910-772-5755

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



APPROVED CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB



PREPARED BY:
PARAMOUNTE ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 16163.PE

RIVERBEND
316 N. 2ND STREET



LS3P ASSOCIATES LTD.
101 NORTH THIRD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
TEL. 910.790.9901 FAX 910.790.3111
WWW.LS3P.COM

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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: CDR
CHECKED BY: JBS

COVER
C-0

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roller erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roller erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization controls as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-measuring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation
In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported
Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(l)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED
By Walton] at 1:42 pm, Nov 05, 2020
APPROVED STORMWATER MANAGEMENT PLAN

APPROVED CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

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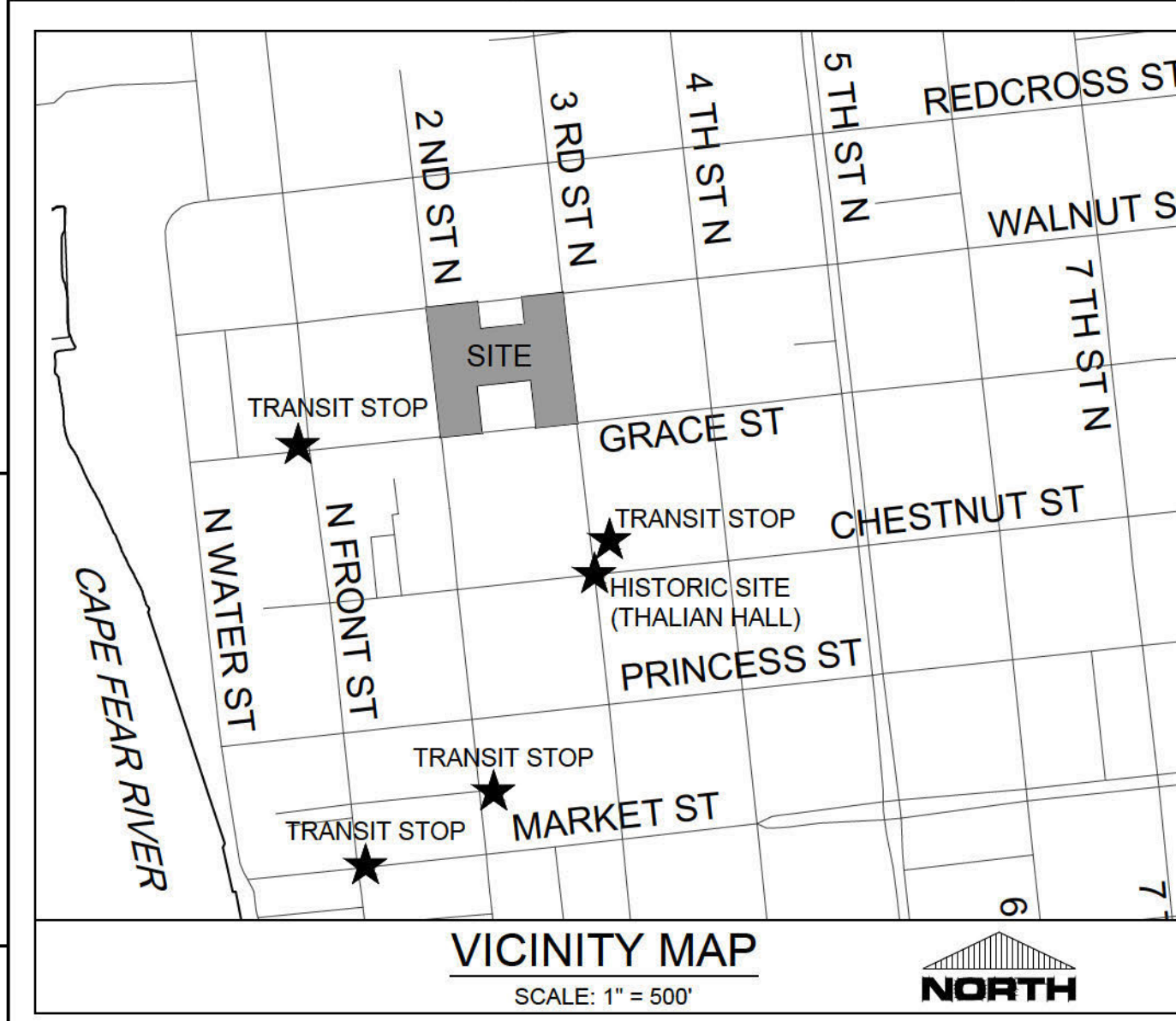
REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: RPB
CHECKED BY: JBS

CIVIL NPDES NOTES

C-1.1



PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (C) (910) 791-6760 (F)
NC License #: C-2846

RIVERBEND #1, LLC
P.O. BOX 1087
WEST END, NC 27376

RIVERBEND
316 N. 2ND STREET

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101 NORTH THIRD STREET, SUITE 500
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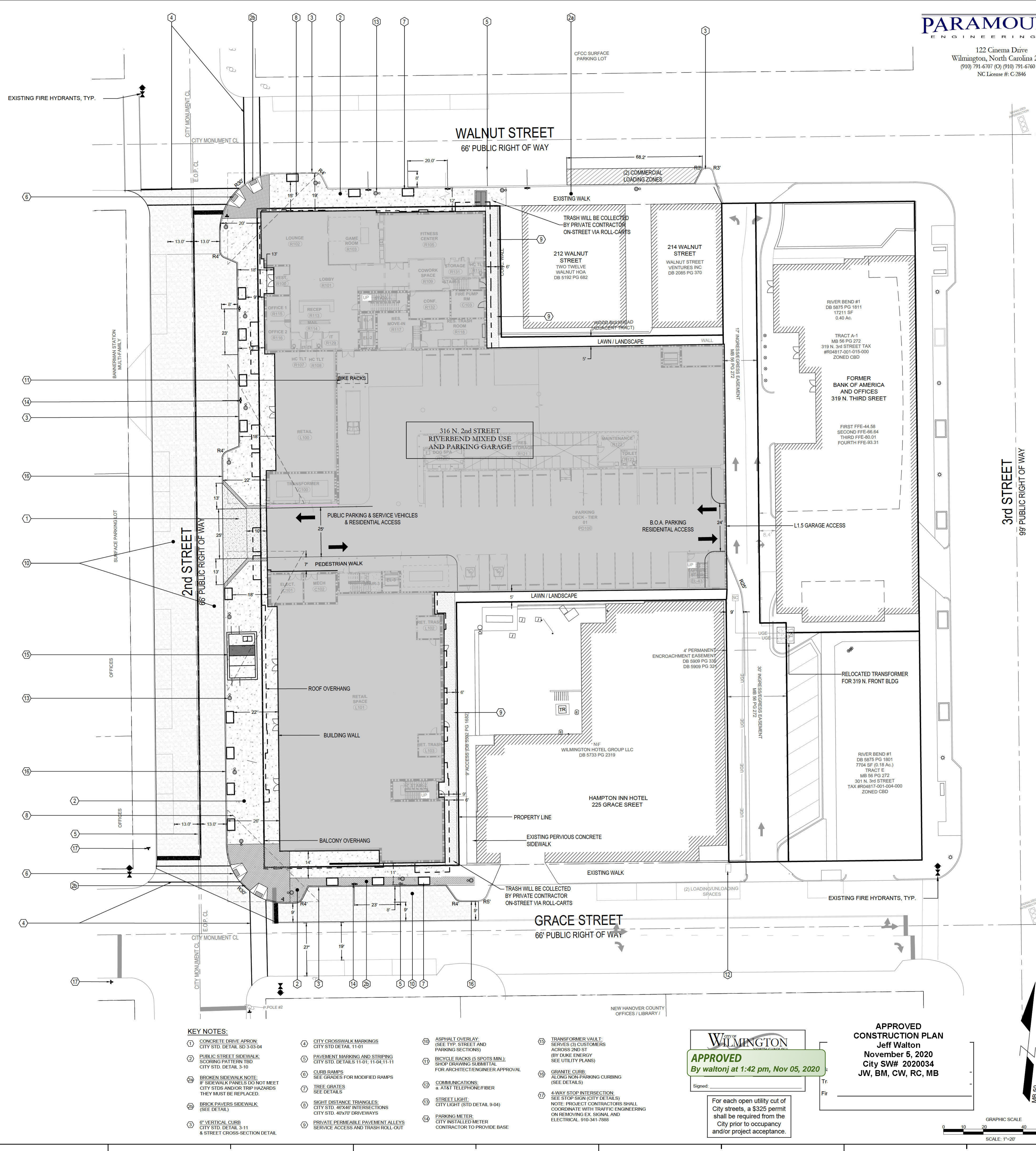
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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: JBS
CHECKED BY: RPB

SITE LAYOUT
C-2.0
SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN
CONSTRUCTION DOCUMENTS



SITE DATA TABULATION

OWNER:	RIVERBEND #1, LLC
PROJECT:	RIVERBEND @ 2ND AND GRACE
PROJECT ADDRESS:	316 N. 2nd STREET
TAX PARCEL IDENTIFICATION #:	R04817-001-012-000
PLAT:	PG 68, PG 200
CURRENT ZONING:	CENTRAL BUSINESS DISTRICT (CBD)
CAMA LAND USE CLASSIFICATION:	URBAN
MINIMUM ALLOWABLE BUILDING HEIGHT:	38'
BY RIGHT BUILDING HEIGHT:	100'
MAXIMUM ALLOWABLE BUILDING HEIGHT:	132'
EXISTING LAND USE:	VACANT LAND / AUTO PARKING
PROPOSED LAND USE:	RETAIL / RESIDENTIAL
PROPOSED RIVERBEND RECOMBINATION LOT:	59,248 SF (1.38 AC) 'COMBINED TRACT'

SETBACK DIMENSIONS

MINIMUM FRONT SETBACK (2nd ST.)	PROVIDED	REQUIRED
1.8-7.5' ±	1.8-7.5' ±	AT LEAST 50% OF BUILDING SET AT PROPERTY LINE
MINIMUM SIDE SETBACK (WALNUT ST.)	1.8-2.5' ±	AT LEAST 50% OF BUILDING SET AT PROPERTY LINE
MINIMUM SIDE SETBACK (GRACE ST.)	1.3-8.1' ±	0 FT.
MINIMUM REAR SETBACK	0	0 FT.
ENCROACHMENT	BALCONIES INTO PUBLIC ROW CITY COUNCIL APPROVAL - AUGUST 2020	

IMPERVIOUS INFORMATION (STATE STORMWATER PERMIT - NOT CITY PERMIT)
3 TRACTS 'COMBINED TRACT' - TRACT 'A-1' + TRACT 'E' REF. MP 66, PG. 200
TOTAL TRACT AREA = 64,184 SF ±

TRACT B REVISION PROPERTY AREA = 59,248 SF
PROPOSED IMPERVIOUS AREA (TRACT B REVISION)
TOTAL BUILDING (WITHIN PROPERTY) 46,975 (ROOFTOP = 49,230 SF)
CONCRETE/SIDEWALKS (WITHIN PROPERTY) 2,740 SF
ALLEY PAVEMENT 5,549 SF (EXISTING)
PERVIOUS CONCRETE SIDEWALKS 800 SF (NOT COUNTED AS SCM)
TOTAL PROPOSED IMP. AREA 56,064 SF (REVISED TRACT B BUA)

EXISTING IMPERVIOUS AREA (SW8 091026)
TRACT A1 (BOA) 15,463 SF ± 15,587 ALLOCATED
TRACT B 'REVISION' 28,445 SF ± 28,848 ALLOCATED
TRACT SS (TRACT E) 2,593 SF ± 7,788 ALLOCATED
TOTAL SW8 091026 = 52,323 SF ALLOCATED

OTHER TRACTS NOT YET PERMITTED:
TRACTS 1, 2, 3, 4 & 5 PROJECT AREA = 27,836 SF
TRACT 1 EXISTING BUA = 1630 SF
TRACT 2 EXISTING BUA = 6650 SF
TRACT 3 EXISTING BUA = 8052 SF
TRACT 4 EXISTING BUA = 2652 SF
TRACT 5 EXISTING BUA = 5742 SF
TOTAL EXISTING BUA = 24,726 SF

REVISED TRACT B EXIST. IMPERVIOUS = 53,171 SF (28,445 + 24,726)
EXISTING IMPERVIOUS TOTAL = 76,546 SF (53,171 + 15,587 + 7,788)
PROPOSED IMPERVIOUS TOTAL = 74,120 SF (56,064 + 15,463 + 2,593)
PROPOSED FUTURE ON TRACT E = 2,574 SF
REMAINING IMPERVIOUS = 0 SF ±

*NOTE ADDITIONAL BUA ON TRACT E WILL REQUIRE A NEW STORMWATER PERMIT TO BE IN COMPLIANCE WITH 16A NCAC 02H.1003 NC COASTAL STORMWATER RULES.

BUILDING INFORMATION

CONSTRUCTION TYPE:	II
NUMBER OF EXISTING BUILDINGS:	0
NUMBER OF PROPOSED BUILDINGS:	1 (6-STORIES)
NUMBER OF UNITS:	110 UNITS
HEIGHT:	70-FT

TOTAL AREA PER FLOORS:

GROUND / L1.0:	Area
Retail	= 11,500 sf
Parking	= 18,897 sf (36 spaces)
Residential (Lobby-Service)	= 7,820 sf
L1.5:	
Parking	= 10,932 sf (10 spaces)
L2:	
Parking	= 23,823 sf (81 spaces)
Residential	= 24,100 sf
L3-L6:	
Parking	= 23,823 sf (78 spaces)
Residential	= 24,100 sf
L7:	
Parking	= 20,572 sf (65 spaces)
Residential	= 24,100 sf
TOTALS:	
Retail	= 11,500 sf
Parking	= 169,506 sf (504 spaces)
Residential	= 128,020 sf

PROPOSED BUILDING GSF 140,220 SF
PERCENT OPENGLAZED ALONG GRACE STREET: 50% PER CBD ZONING (REF. ARCH. PLANS)
PERCENT OPENGLAZED ALONG 2ND STREET: 50% PER CBD ZONING (REF. ARCH. PLANS)

PARKING GARAGE(S)

MINIMUM PARKING REQUIRED:	N/A
MAXIMUM PARKING ALLOWED:	N/A
TOTAL PARKING PROVIDED:	504 SPACES (TOTAL)
ACCESSIBLE PARKING REQUIRED:	11 SPACES (2%)
ACCESSIBLE PARKING PROVIDED:	11 SPACES DISPERSED ON EA. LEVEL
BICYCLE RACK(S)/SPACES PROVIDED:	20 SPACES PROVIDED ON GRD/LVL 01

ON-STREET PARKING

EXISTING ALONG GRACE STREET:	4 SPACES (IN FRONT OF SITE)
PROPOSED ALONG GRACE STREET:	3 SPACES
EXISTING ALONG 2ND STREET:	4 SPACES (IN FRONT OF SITE)
PROPOSED ALONG 2ND STREET:	4 SPACES
EXISTING ALONG WALNUT STREET:	6 SPACES W/ 2 COMMERCIAL
PROPOSED ALONG WALNUT STREET:	6 SPACES W/ 2 COMMERCIAL

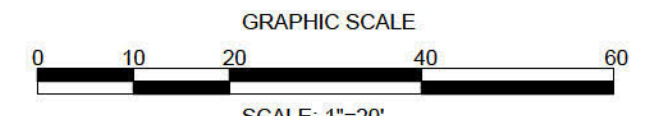
KEY NOTES:

- CONCRETE DRIVE APRON CITY STD. DETAIL 80 3-03-04
- PUBLIC STREET SIDEWALK SCORING PATTERNS TBD CITY STD. DETAIL 3-10
- BROKEN SIDEWALK NOTE: IF SIDEWALK PANELS DO NOT MEET CITY STDS AND/OR TRIP HAZARDS THEY MUST BE REPLACED.
- BRICK PAVERS SIDEWALK (SEE DETAIL)
- 6" VERTICAL CURB CITY STD. DETAIL 3-11 & STREET CROSS-SECTION DETAIL
- CITY CROSSWALK MARKINGS CITY STD. DETAIL 11-01
- PAVEMENT MARKING AND STRIPING CITY STD. DETAILS 11-01, 11-04, 11-11
- CURB RAMPS SEE GRADES FOR MODIFIED RAMPS
- TREE GRATES
- SIGHT DISTANCE TRIANGLES CITY STD. 40'X40' DRIVEWAYS
- PRIVATE PERMEABLE PAVEMENT ALLEYS SERVICE ACCESS AND TRASH ROLL-OUT
- ASPHALT OVERLAY (SEE TYP. STREET AND PARKING SECTIONS)
- BICYCLE RACKS (5 SPOTS MIN.) SHOP DRAWING SUBMITTAL FOR ARCHITECT/ENGINEER APPROVAL
- COMMUNICATIONS: & AT&T TELEPHONE/FIBER
- STREET LIGHT CITY LIGHT (STD. DETAIL 9-04)
- PARKING METER CITY INSTALLED METER CONTRACTOR TO PROVIDE BASE
- TRANSFORMER VAULT: SERVICES (3) CUSTOMERS ADDRESS AND ST (BY DUKE ENERGY SEE UTILITY PLANS)
- GRANITE CURB: ALONG NON-PARKING CURBING (SEE DETAILS)
- 4-WAY STOP INTERSECTION: SEE STOP SIGN (CITY DETAILS) NOTE: PROJECT CONTRACTORS SHALL COORDINATE WITH TRAFFIC ENGINEERING ON REMOVING EX. SIGNAL AND ELECTRICAL. 910-341-7888

WILMINGTON
APPROVED
By waltonj at 1:42 pm, Nov 05, 2020

APPROVED CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: CDR
CHECKED BY: JBS

DEMOLITION & EROSION CONTROL PLAN

C-2.2

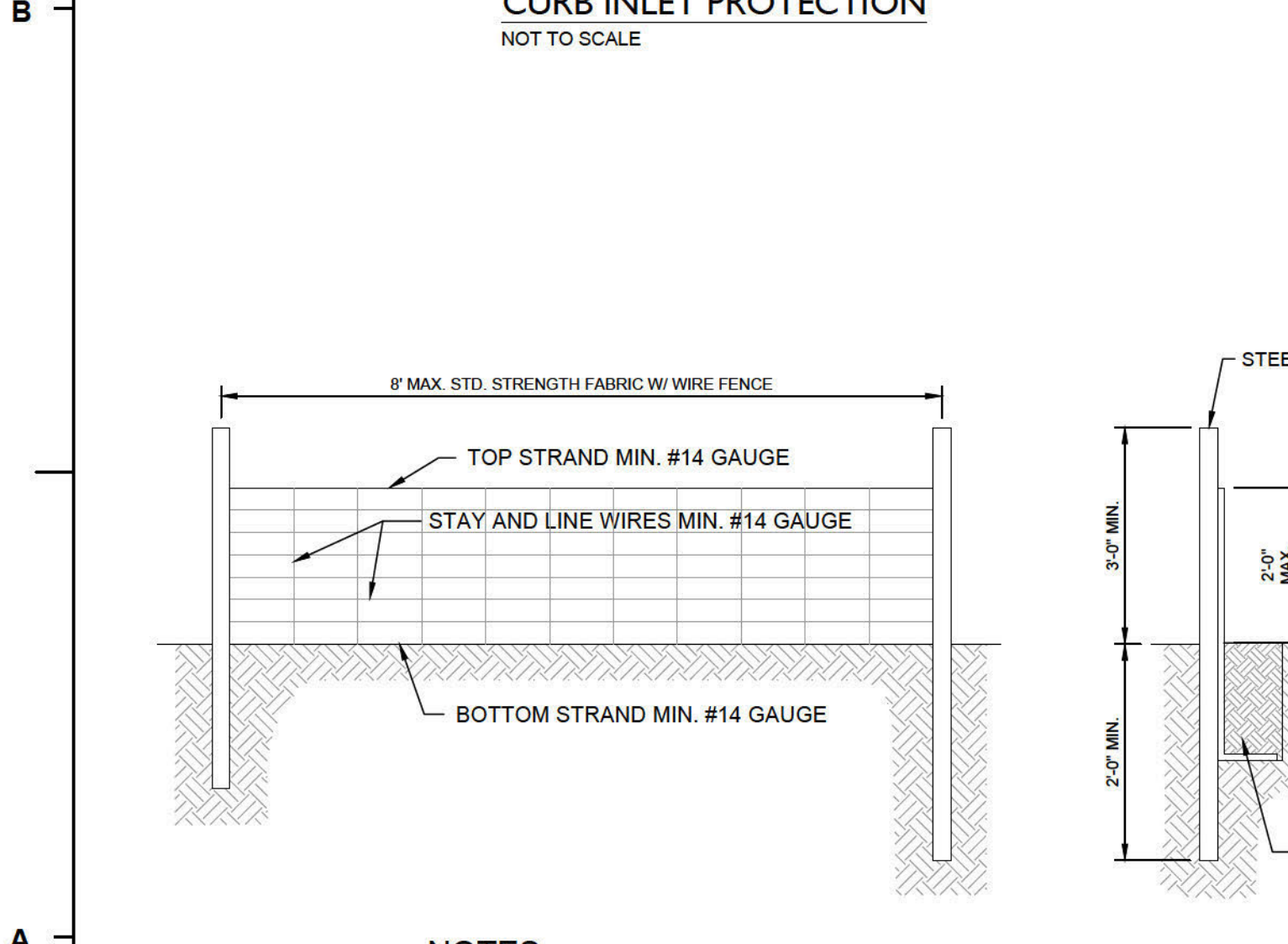
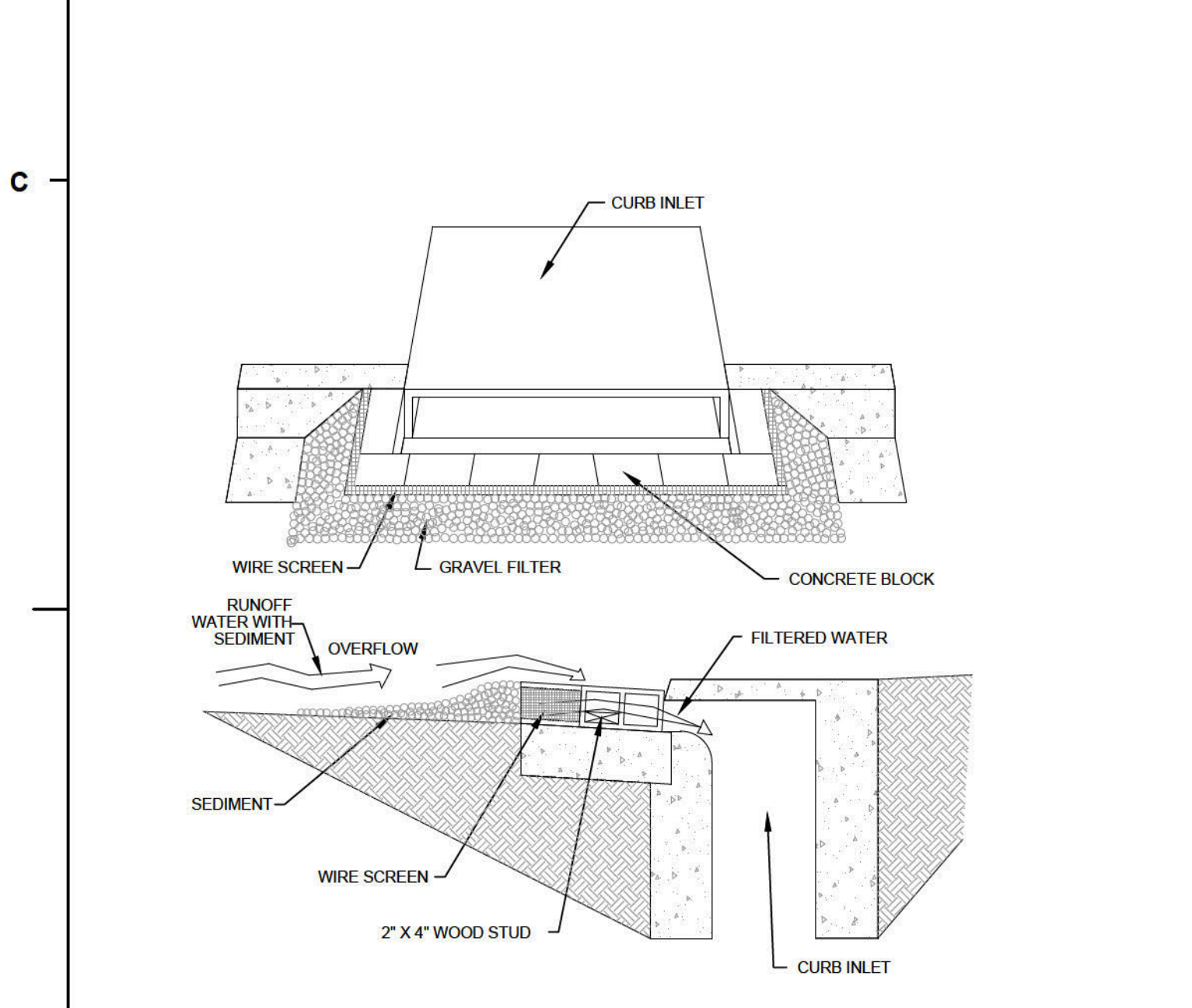
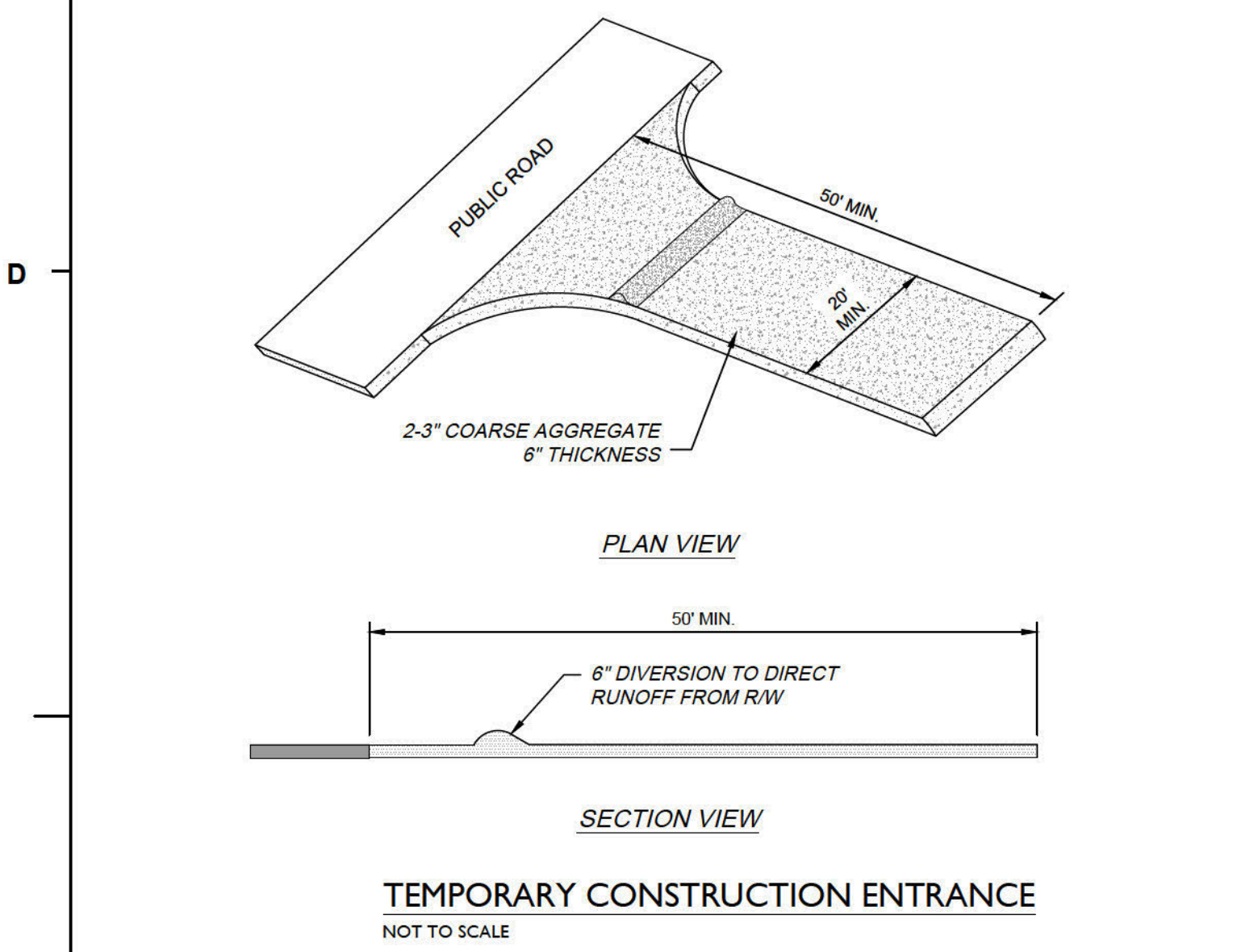
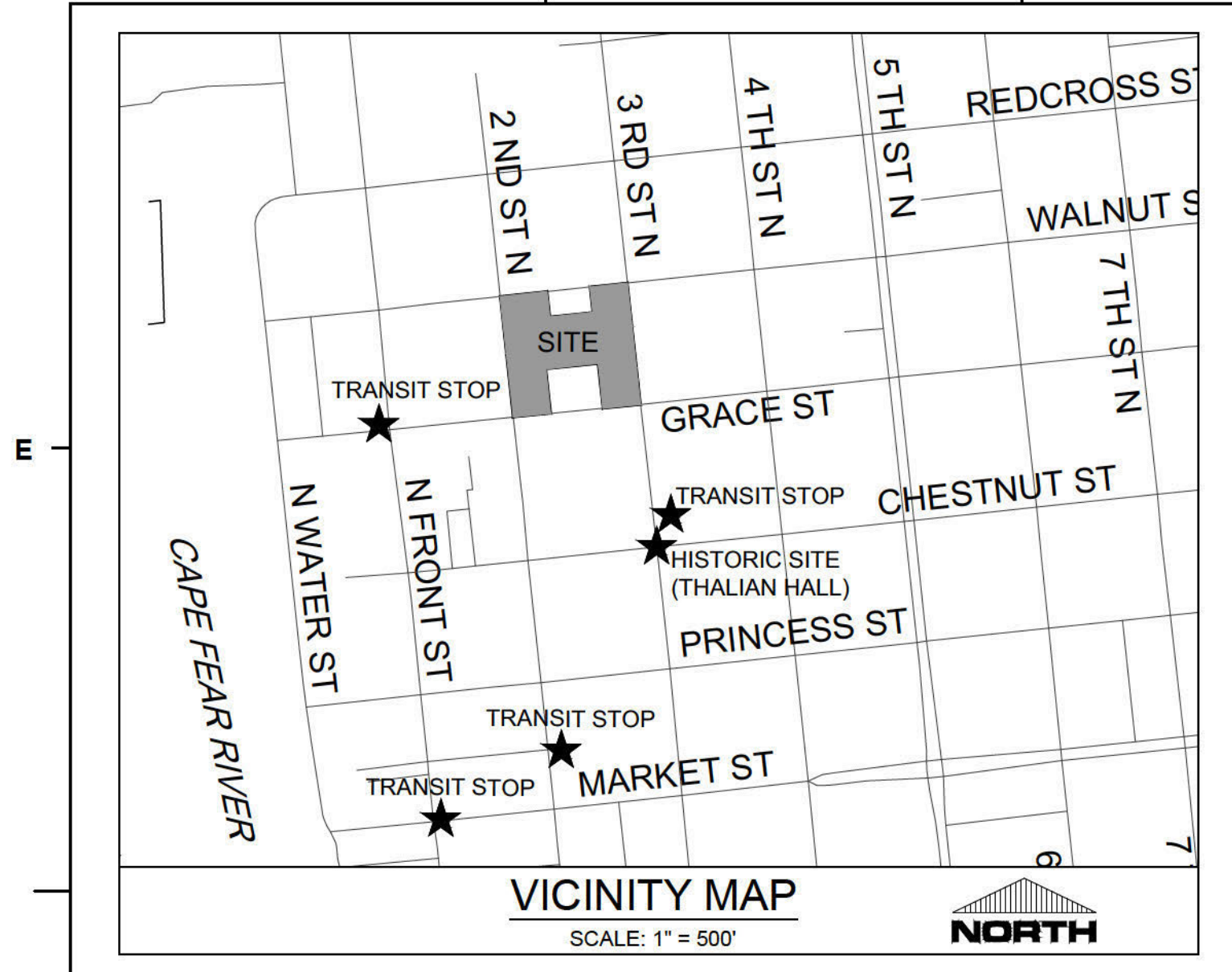
DEMOLITION LEGEND

	ASPHALT PAVEMENT 32,300 SF±		TREE DEMO
	CONCRETE PAVEMENT 5700 SF±		INLET PROTECTION TO REMAIN DURING DEMOLITION
	STORM PIPE REMOVAL UNKNOWN LF		
	CITY SIDEWALK 5,700 SF±		

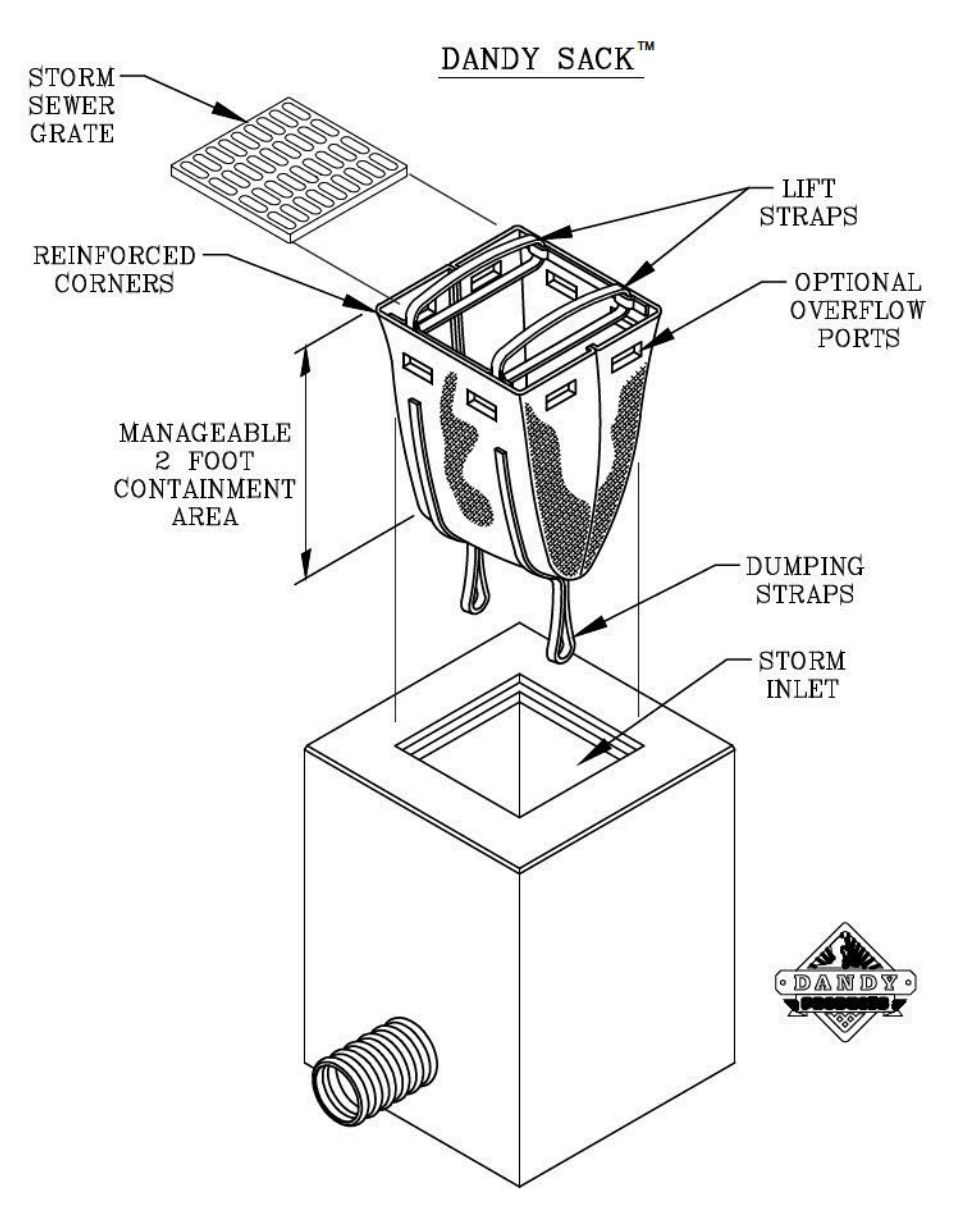
NOTES:
1. OVERHEAD ELECTRIC AND POLES TO BE REMOVED BY DUKE ENERGY.
2. ALL CONCRETE/BRICK/TIMBER WALLS SHALL BE REMOVED WITHIN THE PROJECT BOUNDARY.

DEMOLITION NOTES:
1. UTILITY DEMOLITION SHALL FOLLOW CIVIL UTILITY PLANS.

POTENTIAL LIMITS OF DISTURBANCE/WORKING AREA (TOTAL AREA: 2.0 AC)
NOTE: CONTRACTOR SHALL OBTAIN CITY PERMITS FOR R.O.W. AND STREET WORK



- NOTES:**
- WIRE FENCE (IF USED) SHALL BE MINIMUM #14 GAUGE WITH A MAXIMUM MESH OPENING OF 6-INCHES.
 - SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFIN OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6491 AND ALSO SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS ACCORDING TO ASTM D 4355.
 - SEE THE NC EROSION CONTROL MANUAL FOR SPECIFICATIONS INSTALLING SEDIMENT FENCE USING THE SLICING METHOD MACHINERY.



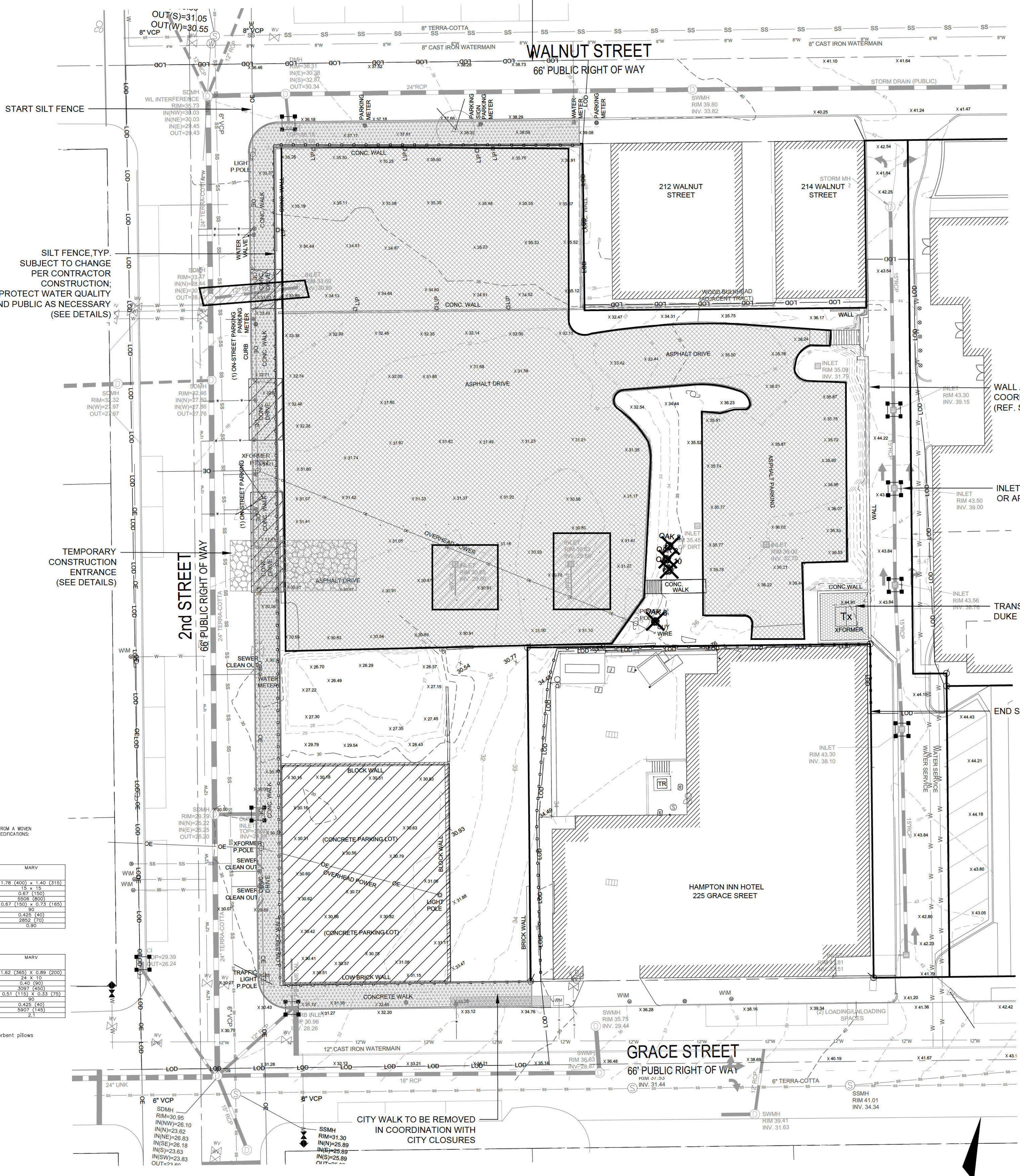
DANDY SACK™ INLET PROTECTION
NOT TO SCALE

NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOMEN OWNED AND OPERATED FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4432	KN (lbf)	1.78 (400) x 1.42 (313)
Strip Tensile Strength	ASTM D 4432	KN (lbf)	0.5 x 115
Puncture Strength	ASTM D 4432	KN (lbf)	0.07 (15.6)
Multi-Point Strength	ASTM D 4432	KN (lbf)	6008 (1360)
Compression Strength	ASTM D 4432	KN (lbf)	0.93 (209) x 0.33 (75)
UV Resistance	ASTM D 4355	Min. US (Std. Size)	0.425 (40)
Apparent Opening Size	ASTM D 4491	1/16" (1.57mm)	2802 (61)
Flow Rate	ASTM D 4491	1/16" (1.57mm)	0.30
Permeability	ASTM D 4491	Sec	0.30

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4432	KN (lbf)	1.62 (363) x 0.89 (200)
Strip Tensile Strength	ASTM D 4432	KN (lbf)	0.4 x 10
Puncture Strength	ASTM D 4432	KN (lbf)	0.07 (15.6)
Multi-Point Strength	ASTM D 4432	KN (lbf)	5077 (1135)
Compression Strength	ASTM D 4432	KN (lbf)	0.51 (115) x 0.33 (75)
UV Resistance	ASTM D 4355	Min. US (Std. Size)	0.425 (40)
Apparent Opening Size	ASTM D 4491	1/16" (1.57mm)	2802 (61)
Flow Rate	ASTM D 4491	1/16" (1.57mm)	0.30
Permeability	ASTM D 4491	Sec	0.30

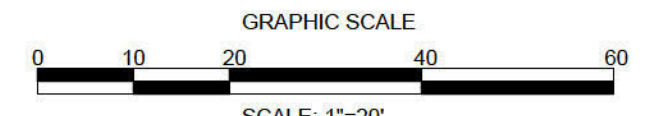
*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows



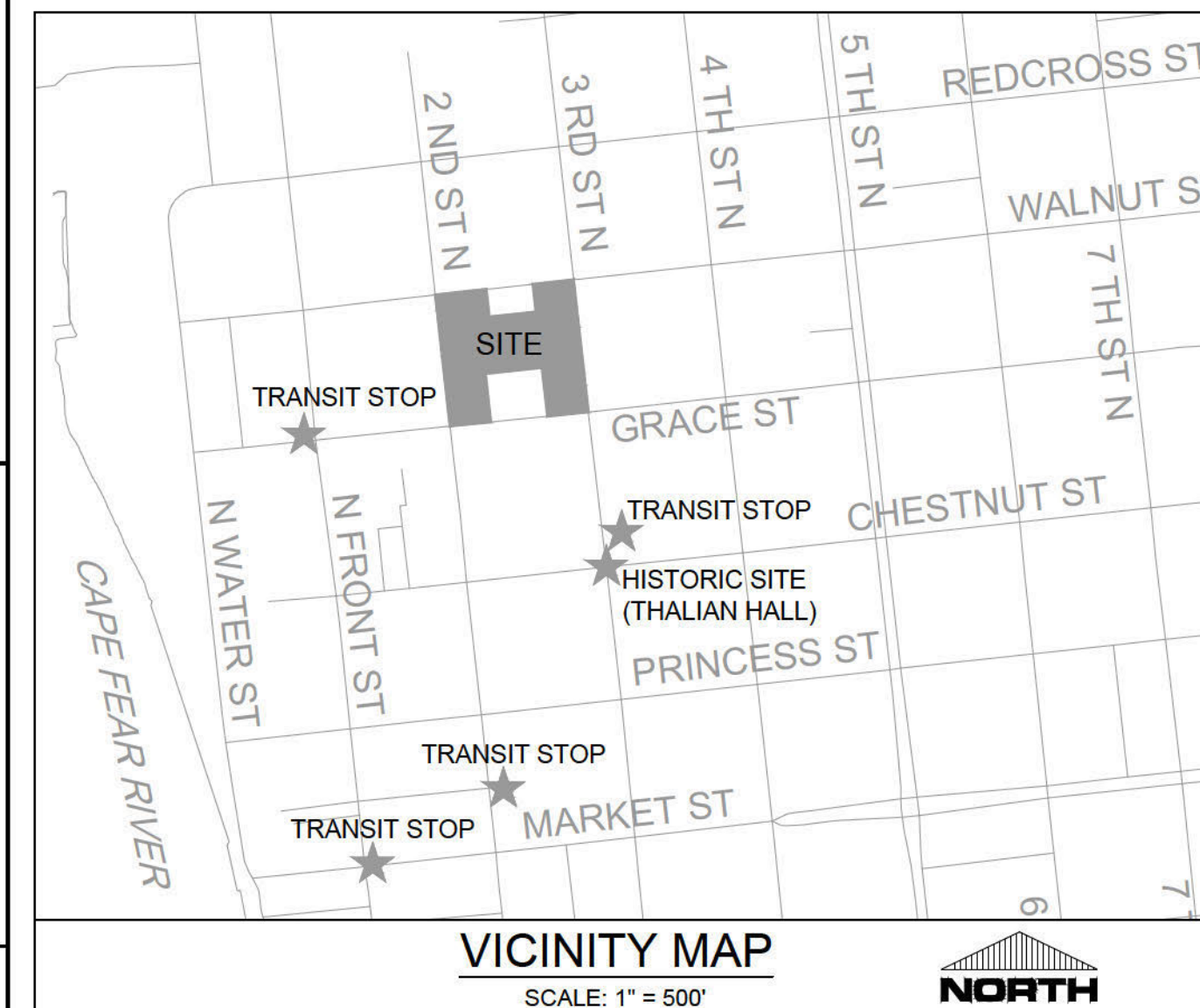
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APPROVED CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB



MS 50
PG 386



RIVERBEND #1, LLC
P.O. BOX 1087
WEST END, NC 27376

RIVERBEND
316 N. 2ND STREET

LS3P
LS3P ASSOCIATES LTD.
101 NORTH THIRD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
TEL. 910.790.9901 FAX 910.790.3111
WWW.LS3P.COM

BUILDING PAD NOTE:

- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

GRADING NOTES:

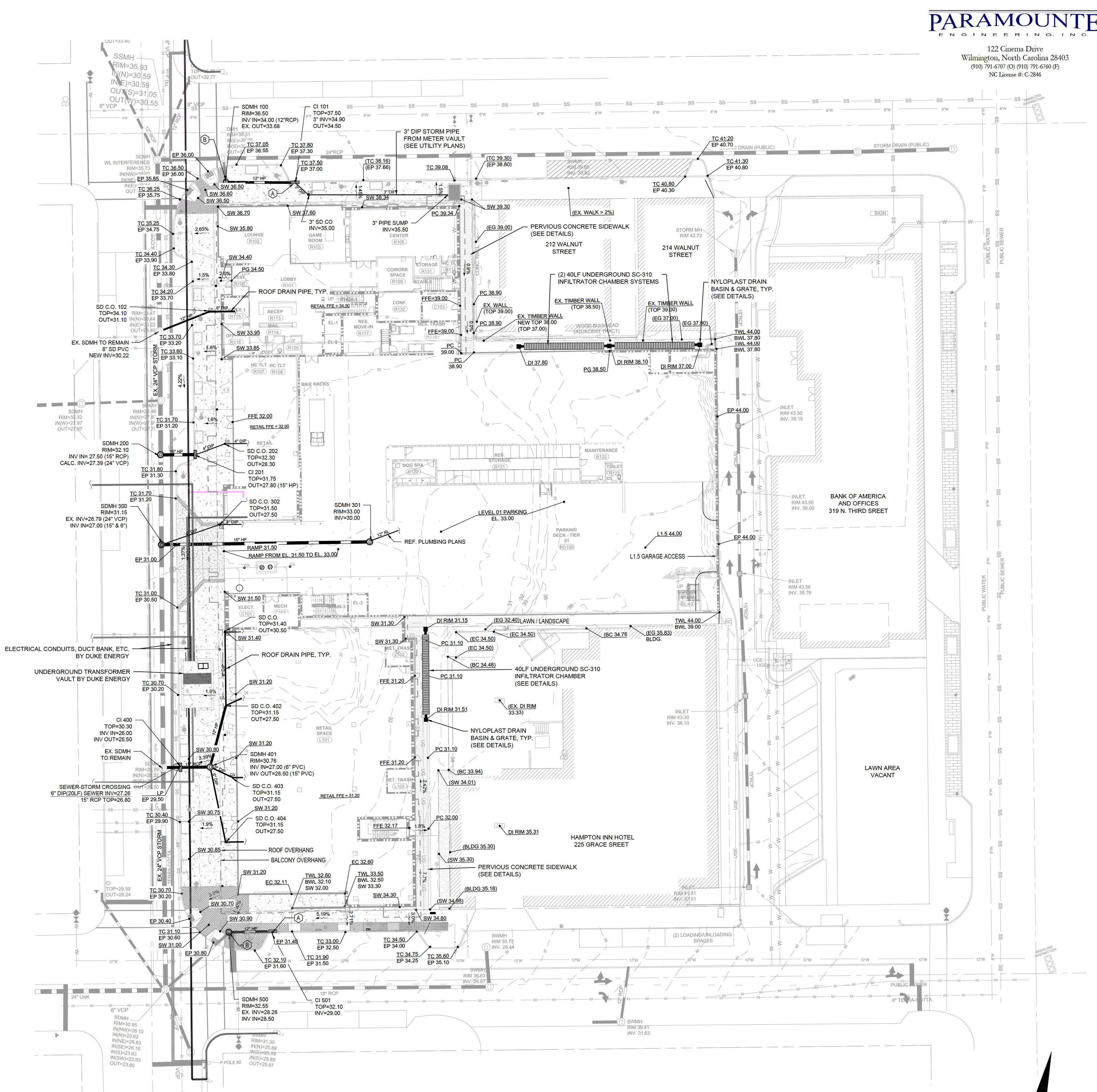
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED, SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL, SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
- SEE GRADING AND DRAINAGE PLANS FOR FINISH GRADES AND STORM PIPE SCHEDULE.
- A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

DRAINAGE NOTES:

- ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS. PUBLIC DRAINAGE SHALL BE WITHIN THE CITY ROW AND PRIVATE DRAINAGE SHALL BE INSIDE THE PROPERTY LINES.
- MANHOLE AND CURB INLET RIM ELEVATIONS SHOWN ABOVE ARE FLUSH WITH PROPOSED GRADE AND SIDEWALKS. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- SEE STRUCTURAL OR ARCHITECTURAL DETAILS FOR DOWNSPOUT DETAILS AND CONNECTIONS INSIDE THE STRUCTURE.
- CONTRACTOR SHALL ADJUST EXISTING FRAMES AND GRATES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.
- THE CONTRACTOR SHALL USE STORM PIPE PER THE CITY SPECIFICATIONS (TYPICALLY CONCRETE OR HP PIPE), EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.

- SPOT GRADE LEGEND:**
- CI = CURB INLET CATCH BASIN
 - DI = DROPP INLET
 - MH = STORM MANHOLE
 - RM = TOP OF FRAME OR GRATE
 - BC/TC = TOP OF CURB ELEVATION
 - GC = GUTTER CURB (FLOW LINE) ELEVATION
 - PG = PROPOSED GRADE (GROUND)
 - EP = EDGE OF PAVEMENT
 - EC = EDGE OF CONCRETE
 - PC = PERVIOUS CONCRETE
 - HP = HIGH POINT ELEVATION
 - LP = LOW POINT ELEVATION
 - CL = CENTERLINE
 - INV = INVERT
 - TWL = TOP OF WALL ELEVATION
 - BWL = BOTTOM OF WALL ELEVATION
 - EG = EXISTING GRADE
 - EX = EXISTING ELEVATIONS, TYP.

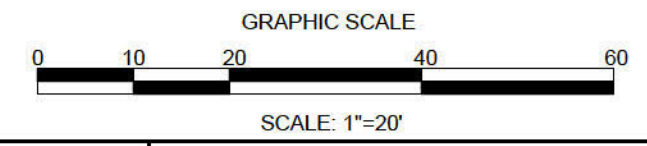
- KEY NOTES:**
- (A) CATCH BASIN INLETS: CITY STD DETAIL 2-16
 - (B) STORM MANHOLES: CITY STD DETAIL 2-03 OR MODIFIED VERSION GIVEN DEPTHS



APPROVED
By waltonj at 1:42 pm, Nov 05, 2020

APPROVED
CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

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REVISIONS:

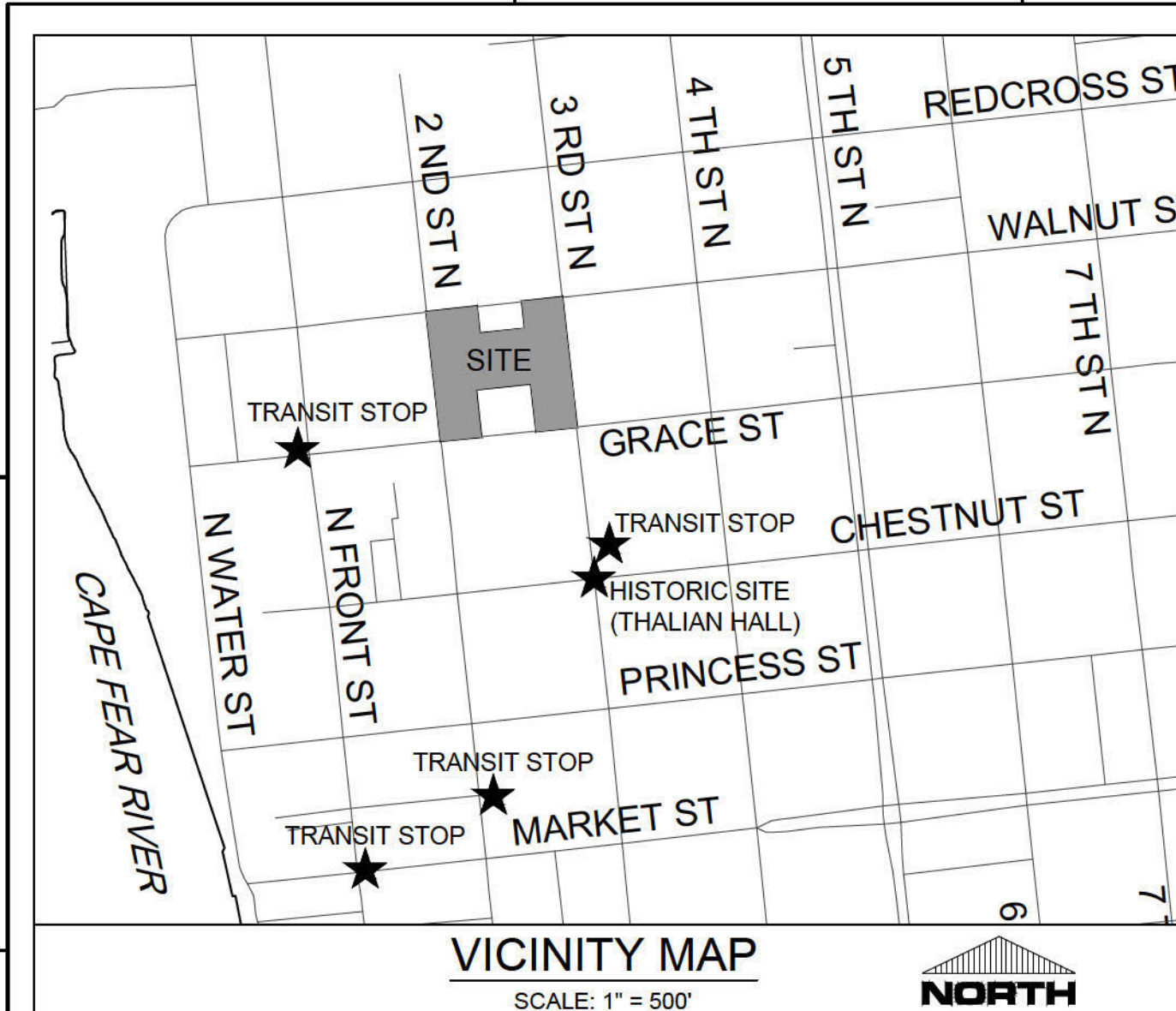
No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: JBS
CHECKED BY: RPB

GRADING AND DRAINAGE PLAN

C-3.0

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN



PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (F) (910) 791-6760 (P)
NC License #: C-2846

RIVERBEND #1, LLC
P.O. BOX 1087
WEST END, NC 27376

RIVERBEND
316 N. 2ND STREET



LS3P ASSOCIATES LTD.
101 NORTH THIRD STREET, SUITE 500
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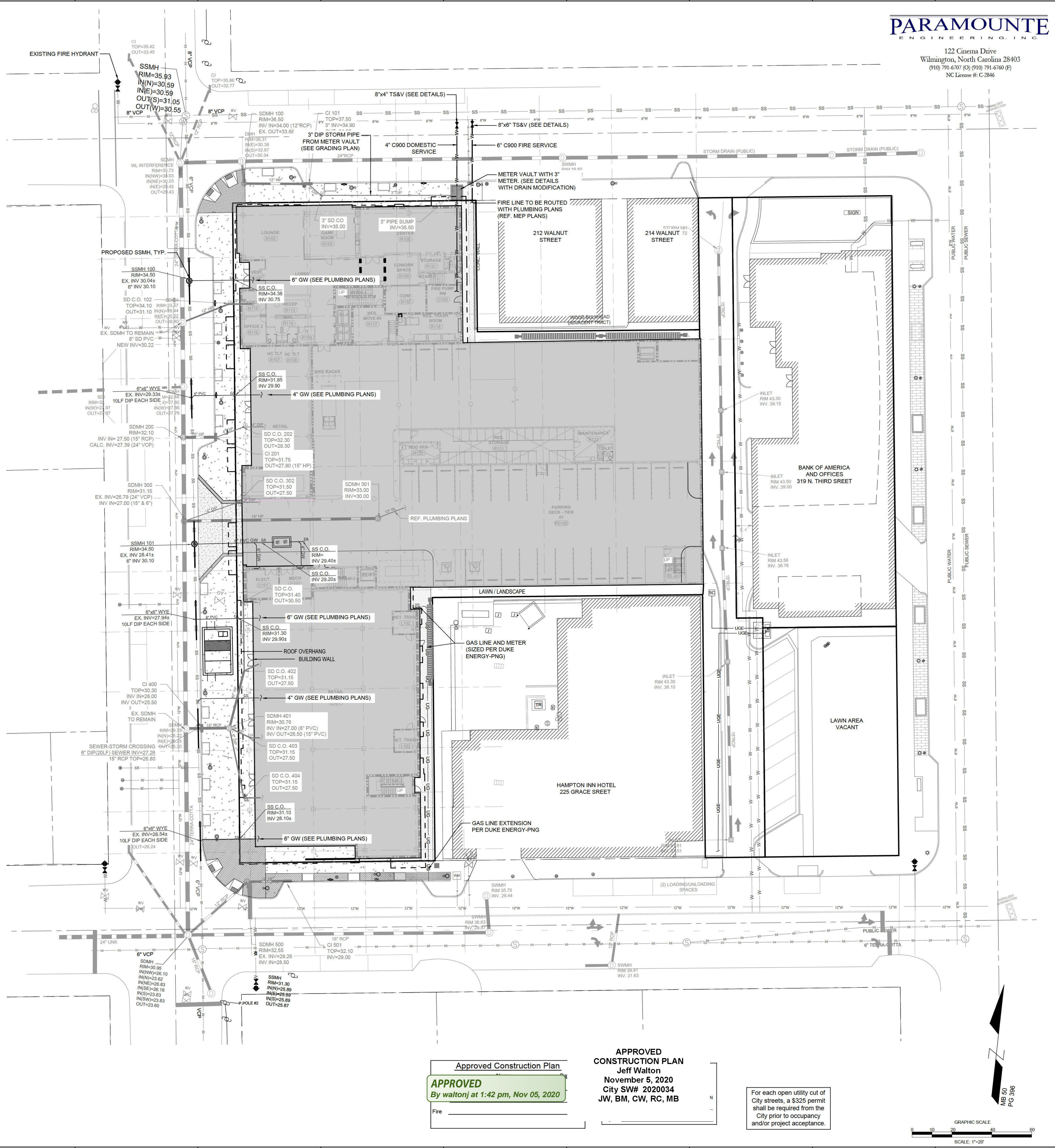
No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: JBS
CHECKED BY: RPB

UTILITY PLAN

C-4.0

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN



SITE DATA TABULATION

OWNER:	RIVERBEND #1, LLC
PROJECT:	RIVERBEND @ 2ND AND GRACE
PROJECT ADDRESS:	316 N. 2ND STREET
TAX PARCEL IDENTIFICATION #:	ROA#17-001-012-000
PLAT:	PB 66, PG 200
CURRENT ZONING:	CENTRAL BUSINESS DISTRICT (CBD)
CAMA LAND USE CLASSIFICATION:	URBAN
MINIMUM ALLOWABLE BUILDING HEIGHT:	38
BY RIGHT BUILDING HEIGHT:	100'
MAXIMUM ALLOWABLE BUILDING HEIGHT:	132'
EXISTING LAND USE:	VACANT LAND / AUTO PARKING
PROPOSED LAND USE:	RETAIL / RESIDENTIAL
PROPOSED RIVERBEND RECOMBINATION LOT:	59,246 SF (1.36 AC) "COMBINED TRACT"

BUILDING INFORMATION

CONSTRUCTION TYPE	II
NUMBER OF EXISTING BUILDINGS	0
NUMBER OF PROPOSED BUILDINGS	1 (6-STORIES)
NUMBER OF UNITS	110 UNITS
HEIGHT	70-FT

TOTAL AREA PER FLOORS:

GROUND / L1-6:

Retail	= 11,500 sf
Parking	= 18,887 sf (36 spaces)
Residential (Lobby-Service)	= 7,520 sf

L1-5:

Parking	= 10,832 sf (10 spaces)
---------	-------------------------

L2:

Parking	= 23,823 sf (81 spaces)
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Residential L3-L6:

Parking	= 23,823 sf (78 spaces)
---------	-------------------------

Residential L7:

Parking	= 24,100 sf
---------	-------------

Residential L8:

Parking	= 20,572 sf (65 spaces)
---------	-------------------------

Residential L9:

Parking	= 24,100 sf
---------	-------------

TOTALS:

Retail	= 11,500 sf
Parking	= 169,508 sf (504 spaces)
Residential	= 128,020 sf

PROPOSED BUILDING GSF 140,220 SF
PERCENT OPEN/GLAZED ALONG GRACE STREET: 50% PER CBD ZONING
PERCENT OPEN/GLAZED ALONG 2ND STREET: 50% PER CBD ZONING

UTILITY INFORMATION
OVERHEAD/UNDERGROUND ELECTRIC OVERHEAD LINES, TRANSFORMERS, AND TRAFFIC CABINETS ALONG 2ND STREET PROPOSED TO BE BURIED BY DUKE ENERGY. OWNER TO CONTACT CITY OF WILMINGTON, AT&T, SPECTRUM, ETC. FOR OTHER OVERHEAD UTILITIES RELOCATION.

WATER & SEWER
MIXED RESIDENTIAL UNITS (110@240gpd) = 26,400 GPD
11,500 SF RETAIL (100 SEATS = 100x40 = 4,000 GPD)
TOTAL = 26,400 + 4,000 = 30,400 GPD REQUESTED

GAS SERVICE
TO BE DESIGNED AND SERVICED BY PIEDMONT NATURAL GAS/DUKE ENERGY

UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0904-906)

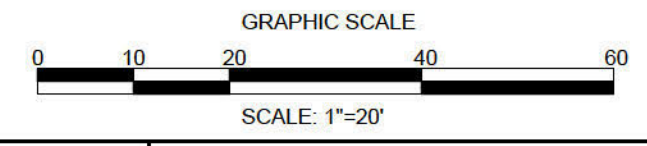
1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
5. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN WHEN STORM IS ABOVE WATER, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE. OTHERWISE, A 12" MIN. SEPARATION SHALL BE CONSTRUCTED.
6. MATERIALS, INSTALLATION, AND TESTING FOR PRIVATE UTILITIES SHALL BE IN ACCORDANCE WITH CPDPA SPECIFICATIONS.
7. CONTRACTOR SHALL ABANDON ALL UNUSED SEWER AND WATER TAPS.
8. WATER MAINS SHALL BE BURIED A MIN. OF 36-INCHES OR DEPTH BELOW THE FROST-LINE OR GREATER IF THE LOCAL UTILITY PROVIDER REQUIRES.

- FIRE AND LIFE SAFETY NOTES:**
1. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
 2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
 3. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 4. A MINIMUM OF 4-FT SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
 5. UNDERGROUND FIRE LINES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING(S) MUST BE PERMITTED & INSPECTED BY THE BUILDING INSPECTIONS / CITY OF WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.
 6. FIRE DEPARTMENT CONNECTIONS (FDCs) MUST BE ON THE FRONT OF THE BUILDING UNLESS OTHERWISE APPROVED. FDC MUST BE WITHIN 40-FT OF THE FIRE APPARATUS PLACEMENT. HYDRANTS MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES)
 7. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
 8. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
 9. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.

Approved Construction Plan
APPROVED
By waltonj at 1:42 pm, Nov 05, 2020

APPROVED
CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

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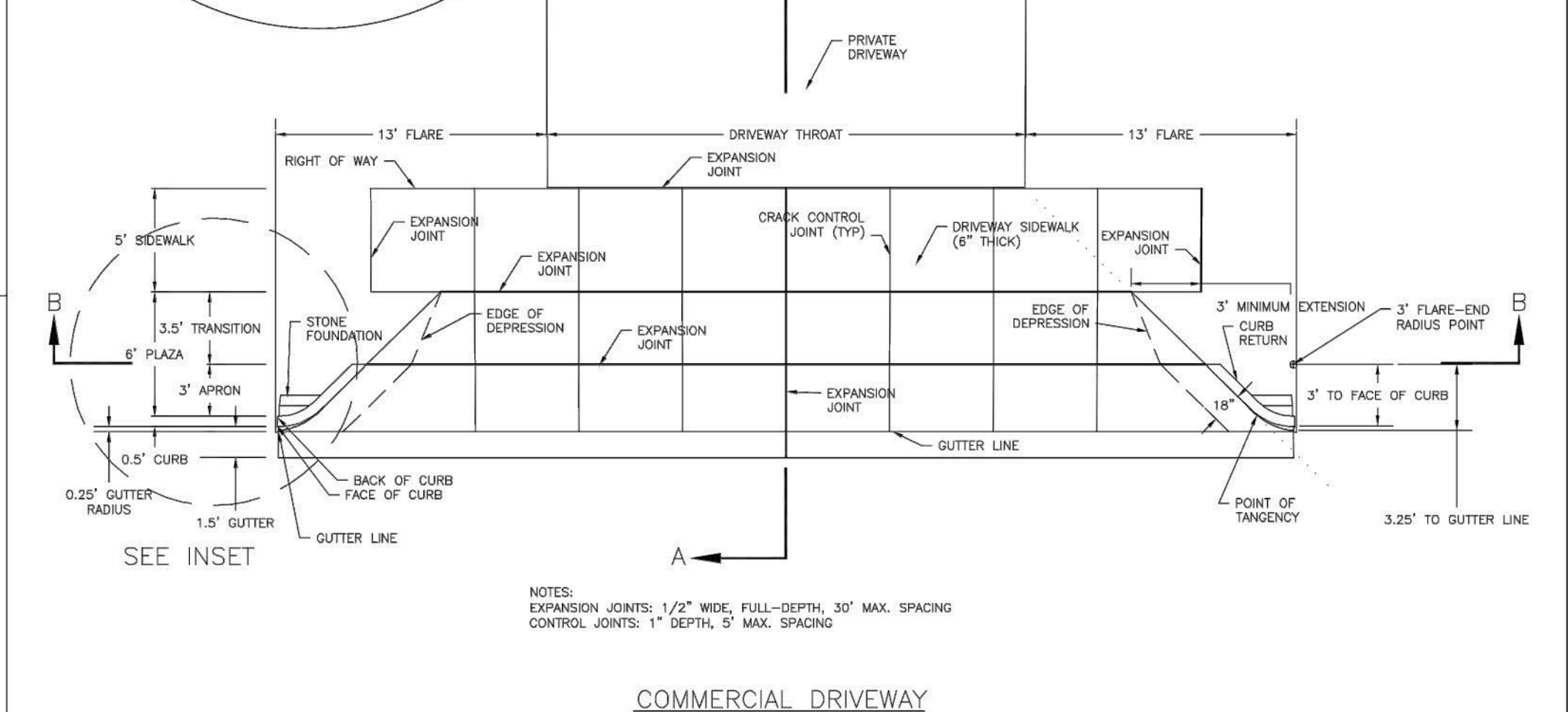
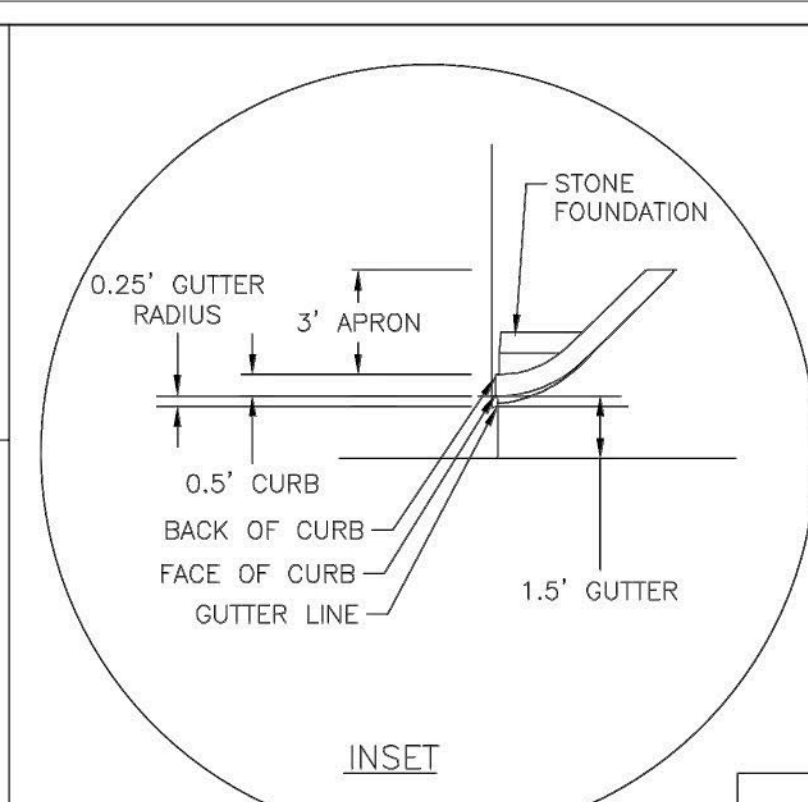
REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: CDR
CHECKED BY: JBS

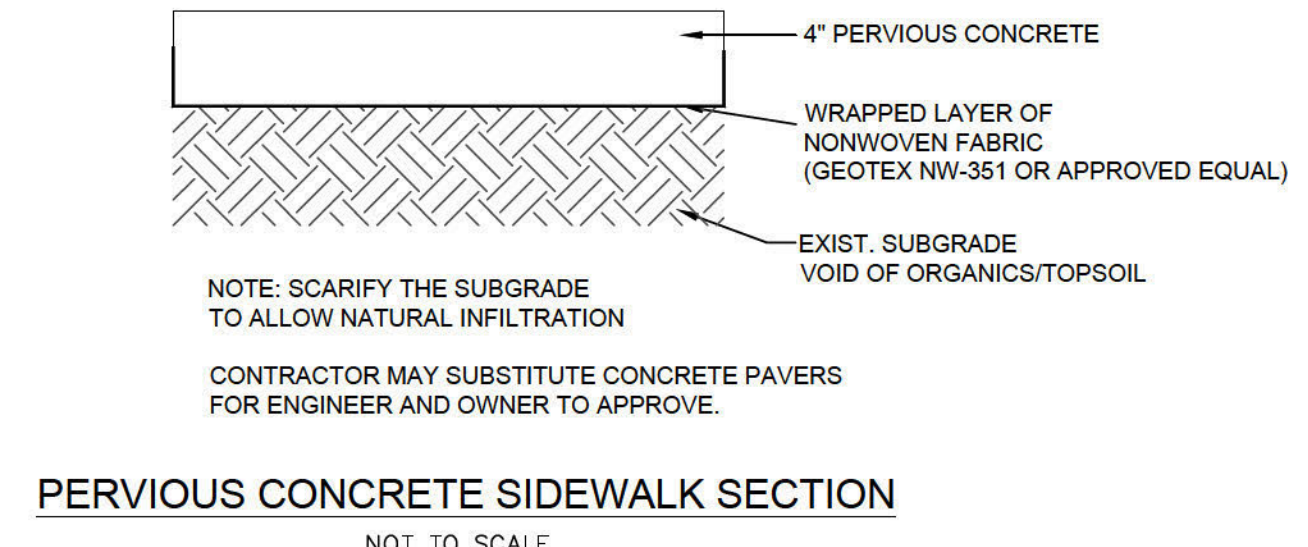
DETAILS

C-5.0



COMMERCIAL DRIVEWAY

APPROVED
By waltonj at 1:42 pm, Nov 05, 2020



PERVIOUS CONCRETE SIDEWALK SECTION

APPROVED CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: Permit #
Signed:

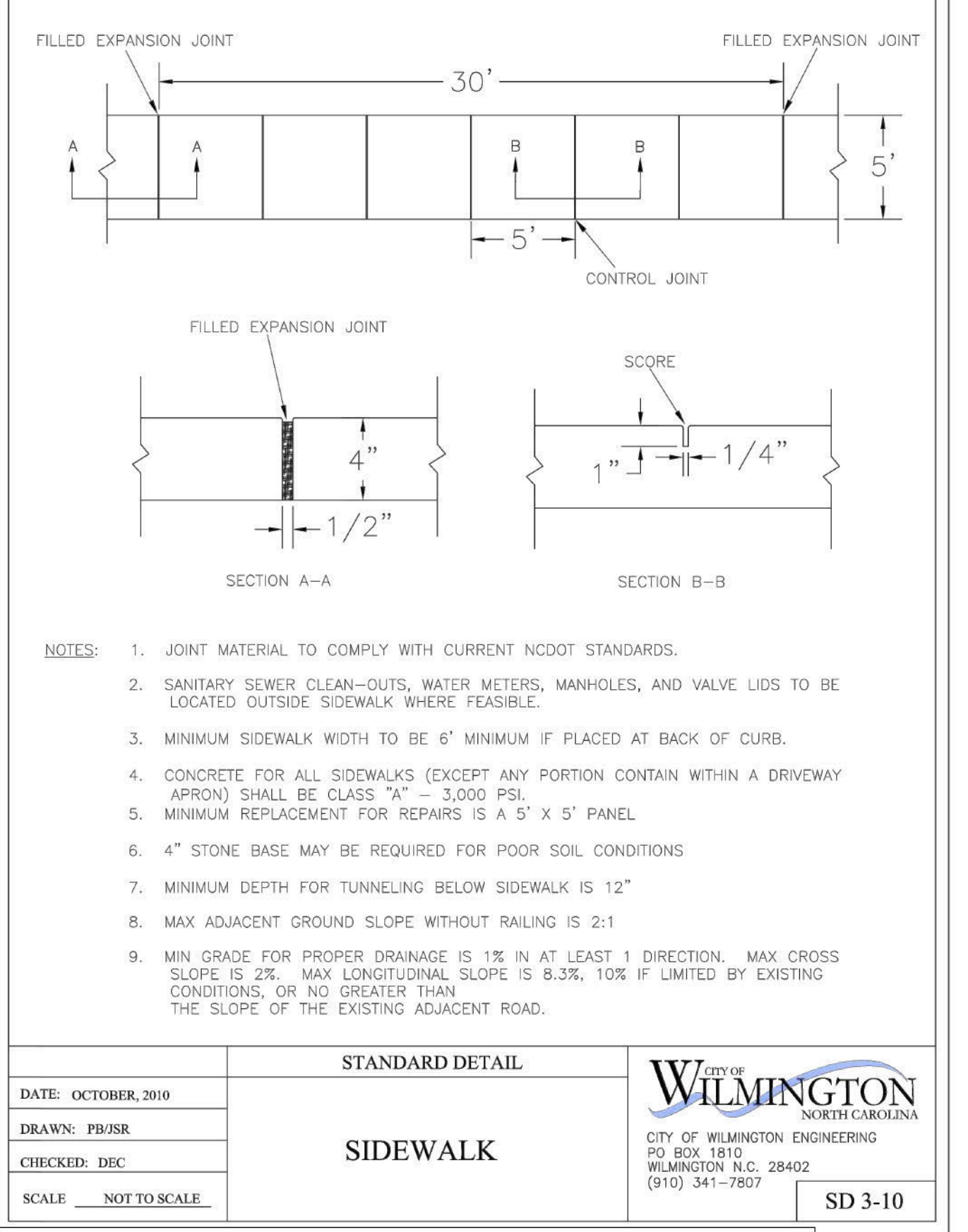
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DATE: FEB 14, 2017
DRAWN BY: JSR
CHECKED BY: HBR, P.E.
SCALE: NOT TO SCALE

COMMERCIAL DRIVEWAY PLAN (VERTICAL CURB)
1 of 2

WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 3-03.3

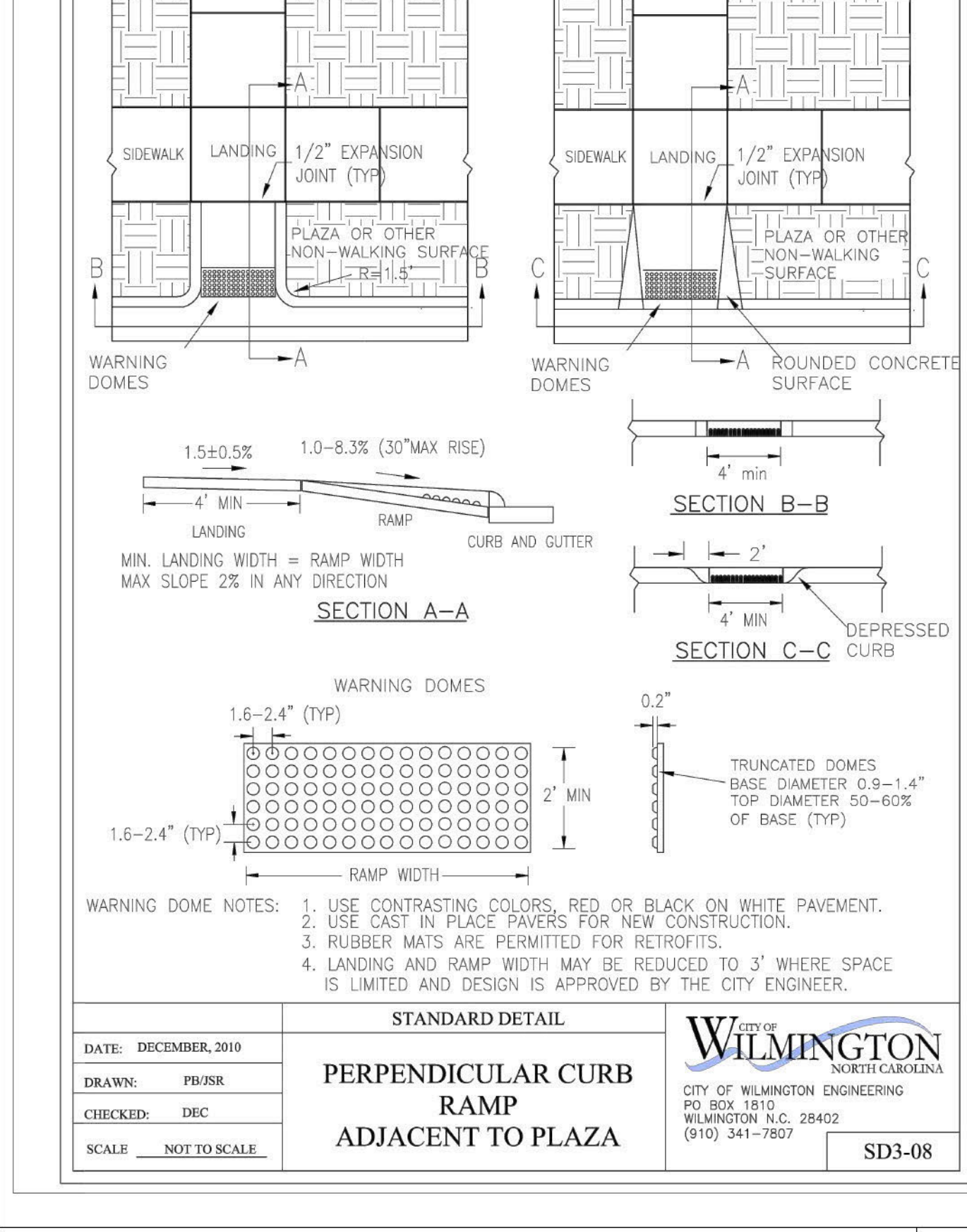


DATE: OCTOBER, 2010
DRAWN: PWB/SR
CHECKED: DDC
SCALE: NOT TO SCALE

STANDARD DETAIL
SIDEWALK

WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 3-10

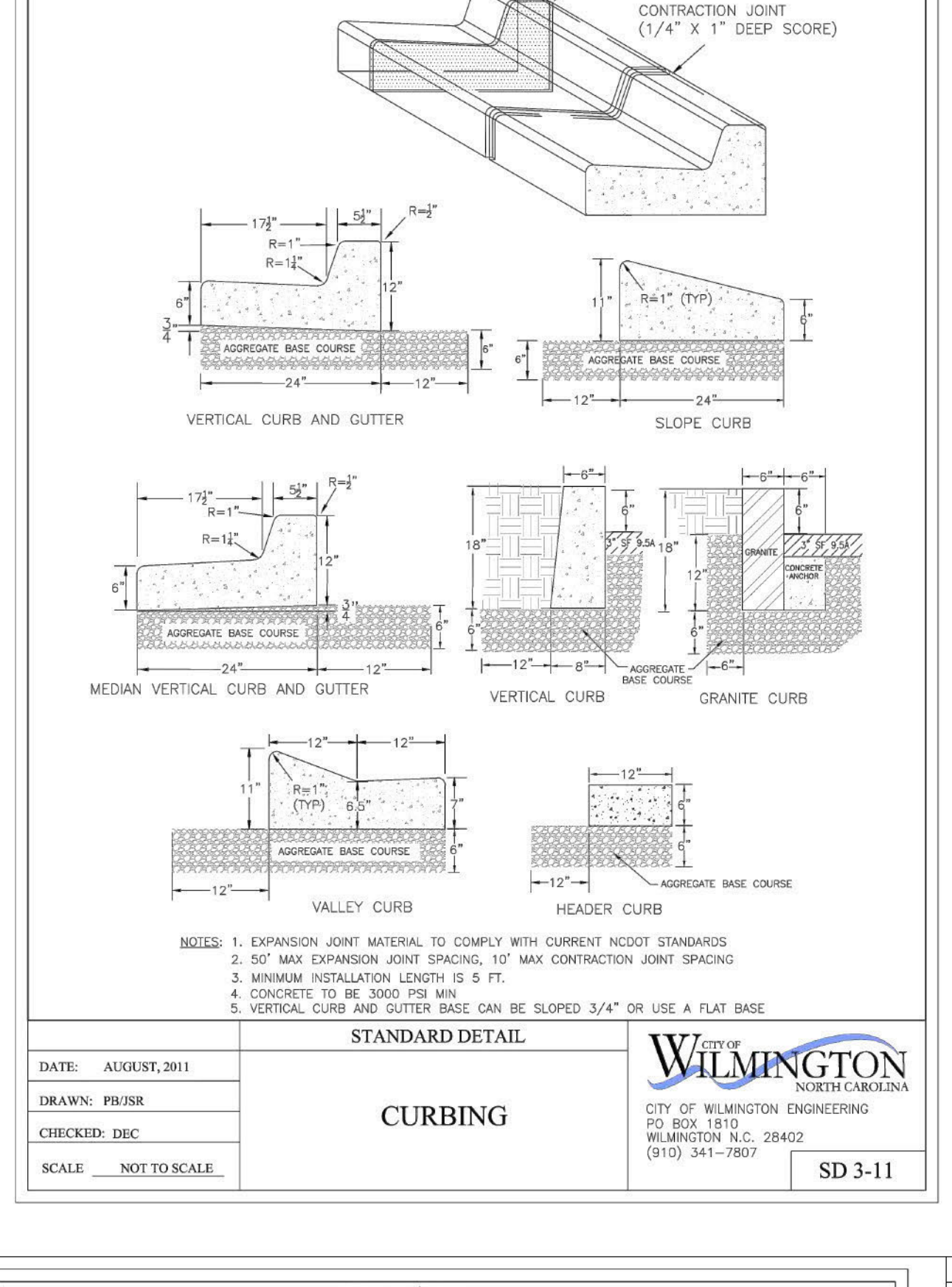


DATE: DECEMBER, 2010
DRAWN: PWB/SR
CHECKED: DDC
SCALE: NOT TO SCALE

STANDARD DETAIL
PERPENDICULAR CURB RAMP ADJACENT TO PLAZA

WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 3-08

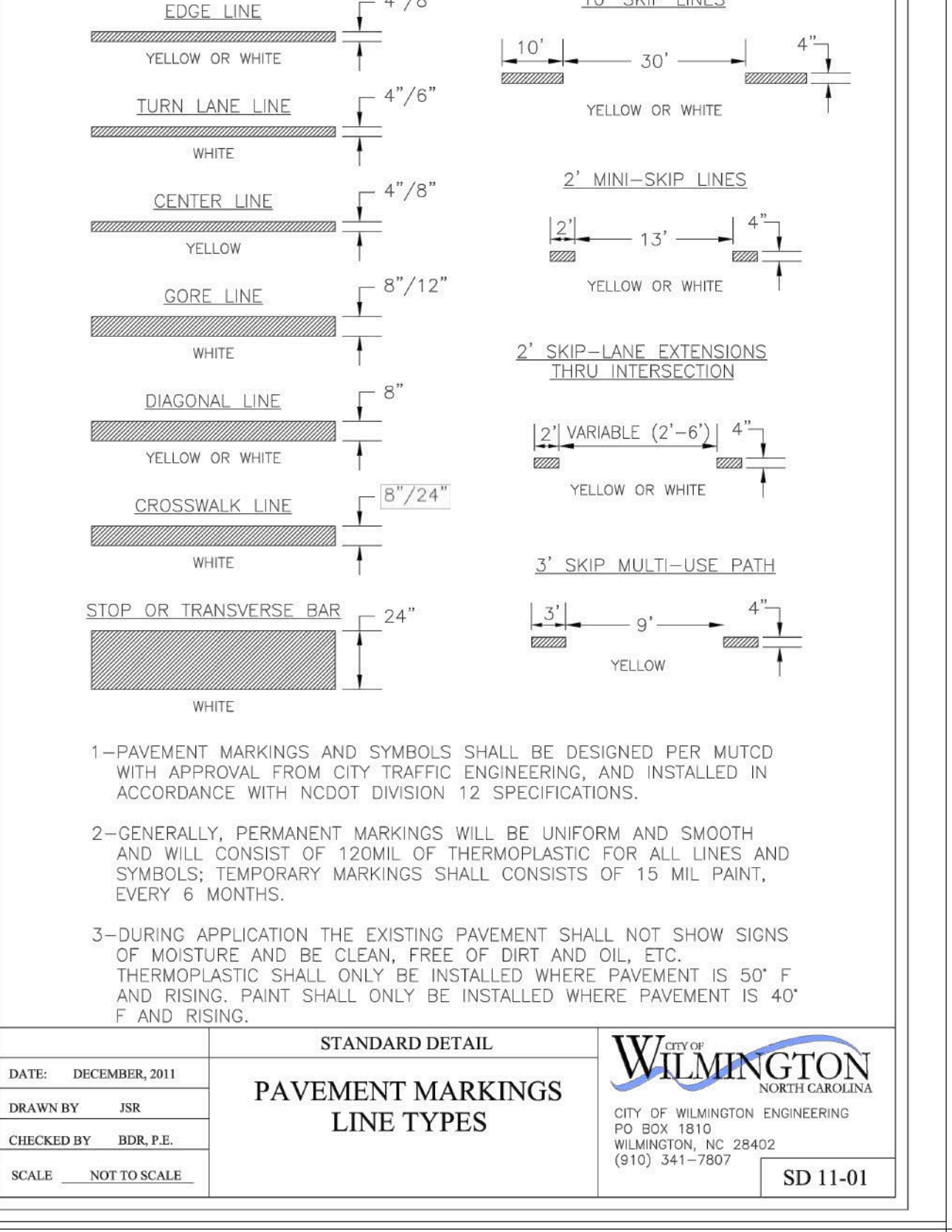


DATE: AUGUST, 2011
DRAWN: PWB/SR
CHECKED: DDC
SCALE: NOT TO SCALE

STANDARD DETAIL
CURBING

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 3-11

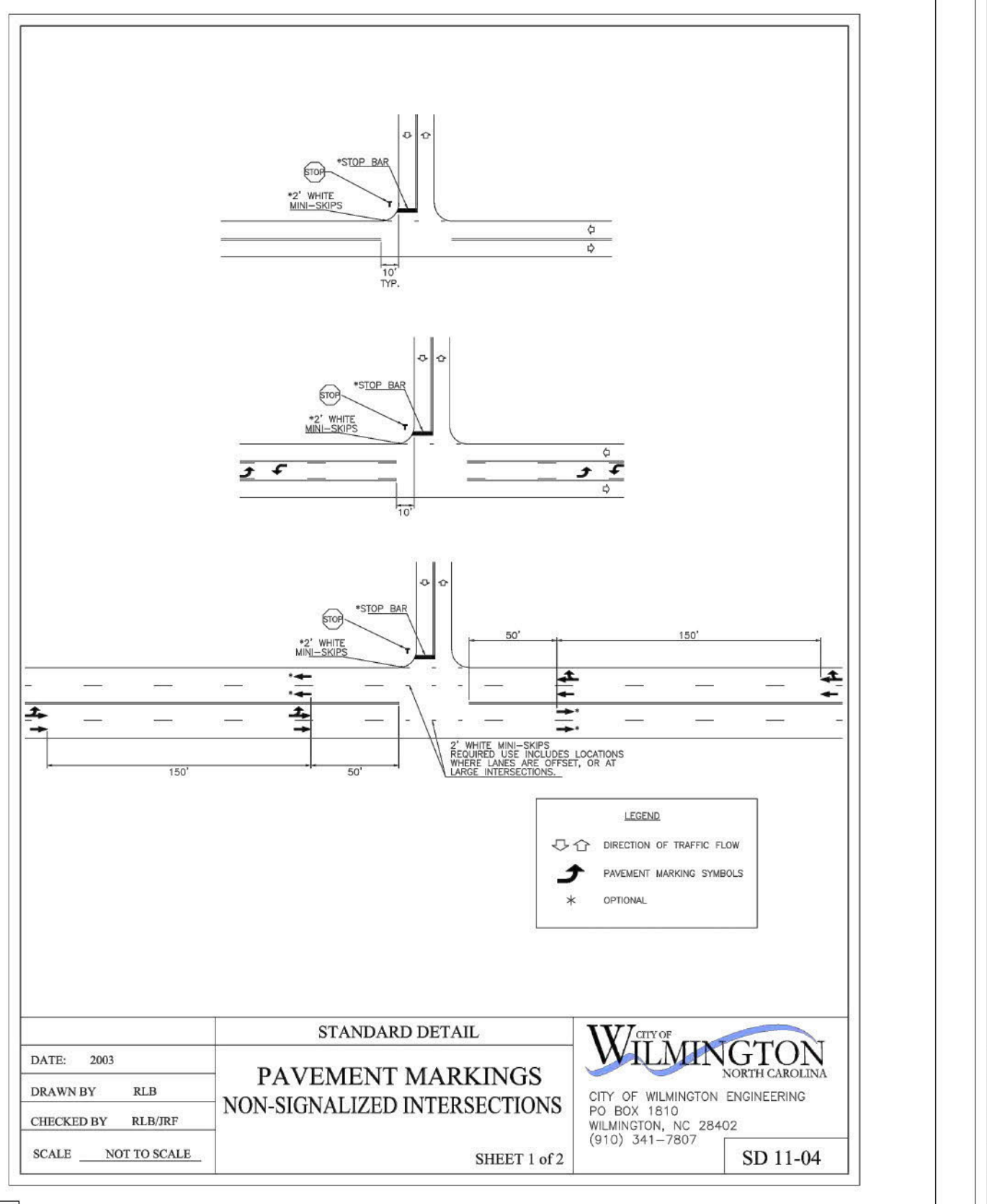


DATE: DECEMBER, 2011
DRAWN BY: JSR
CHECKED BY: HBR, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
PAVEMENT MARKINGS LINE TYPES

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 11-01

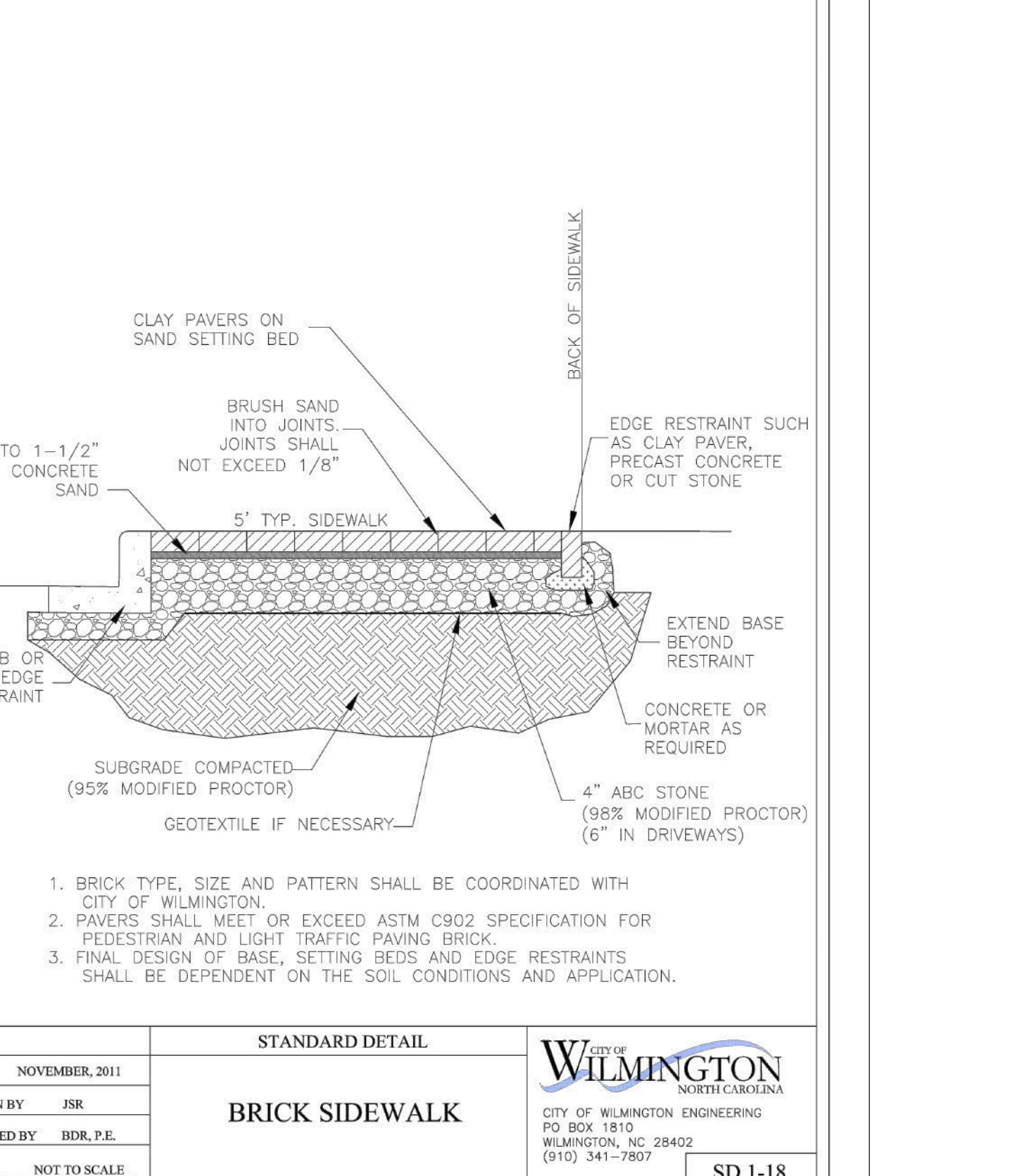


DATE: 2003
DRAWN BY: RLR
CHECKED BY: HBR/P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
PAVEMENT MARKINGS NON-SIGNALIZED INTERSECTIONS

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SHEET 1 of 2
SD 11-04

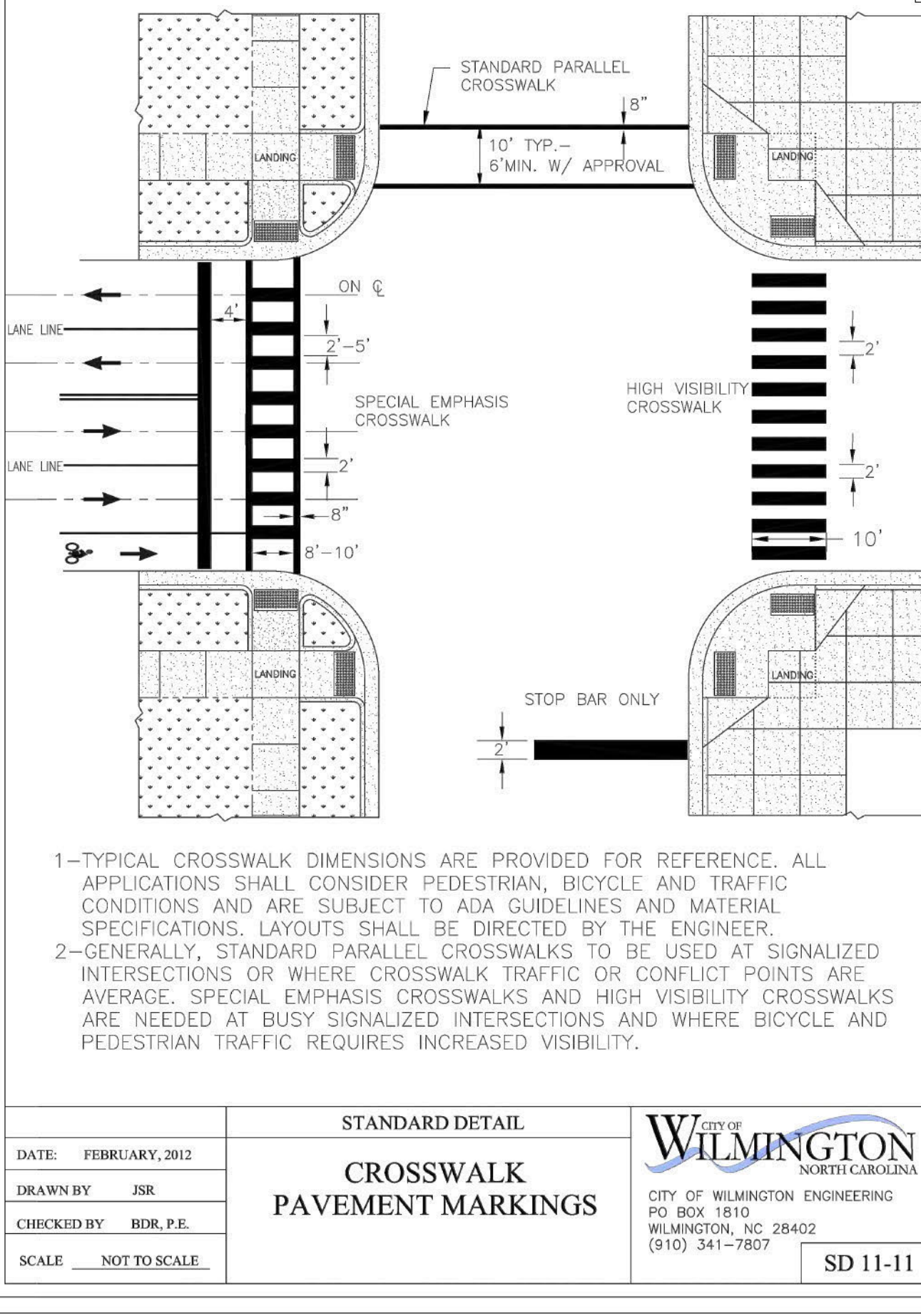


DATE: NOVEMBER, 2011
DRAWN BY: JSR
CHECKED BY: HBR, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
BRICK SIDEWALK

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 1-18

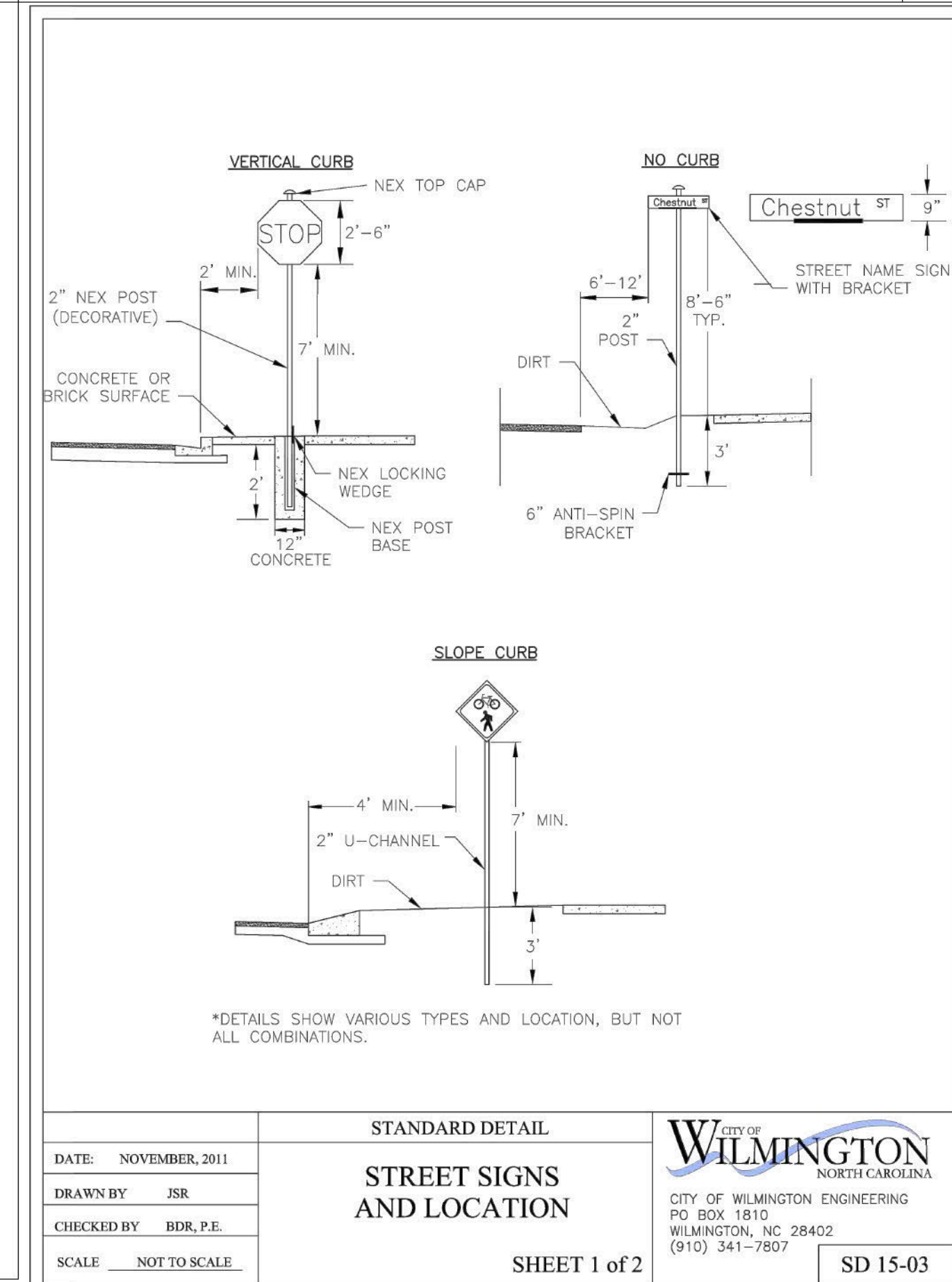


DATE: FEBRUARY, 2012
DRAWN BY: JSR
CHECKED BY: HBR, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
CROSSWALK PAVEMENT MARKINGS

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 11-11

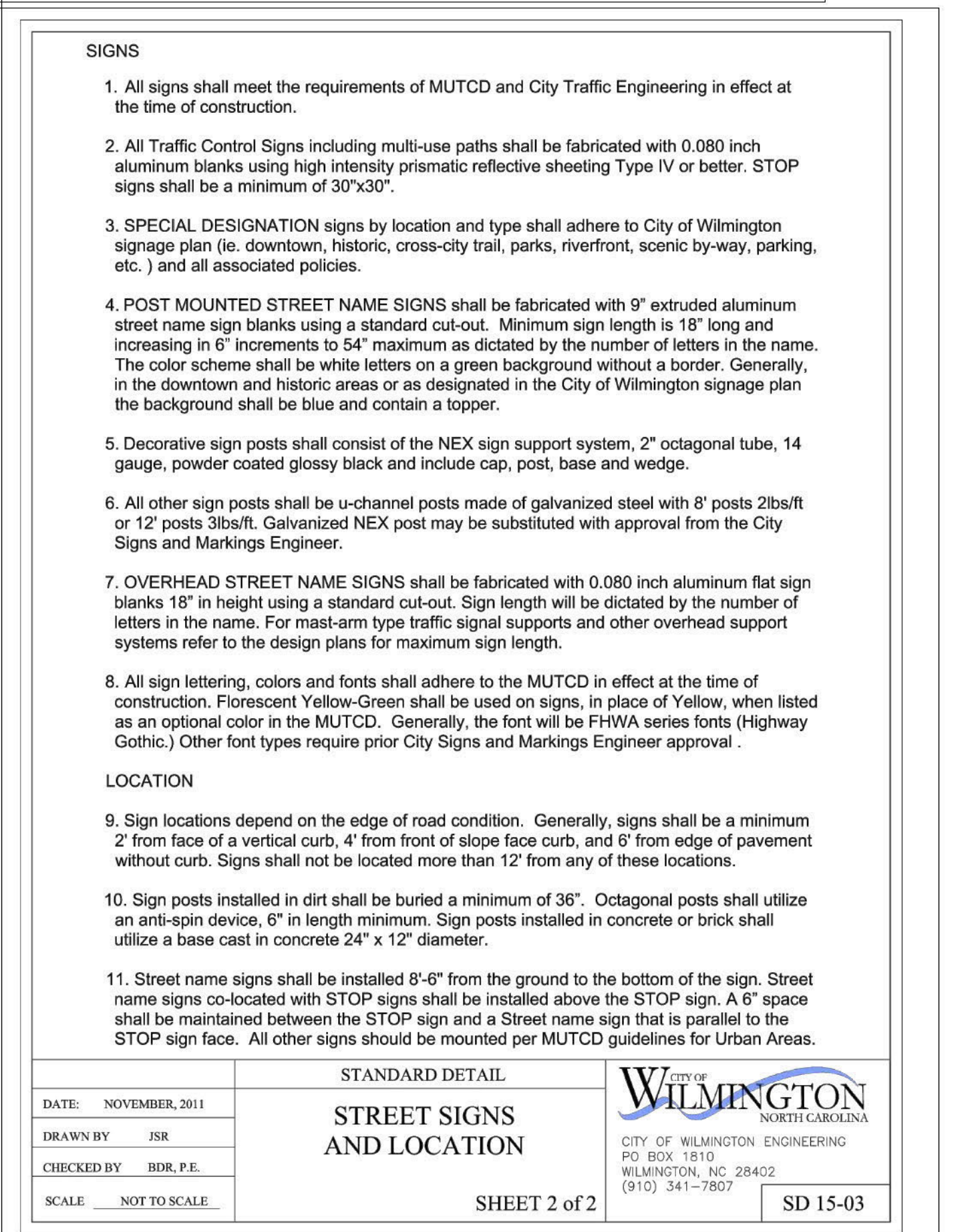


DATE: NOVEMBER, 2011
DRAWN BY: JSR
CHECKED BY: HBR, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
STREET SIGNS AND LOCATION

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SHEET 1 of 2
SD 15-03

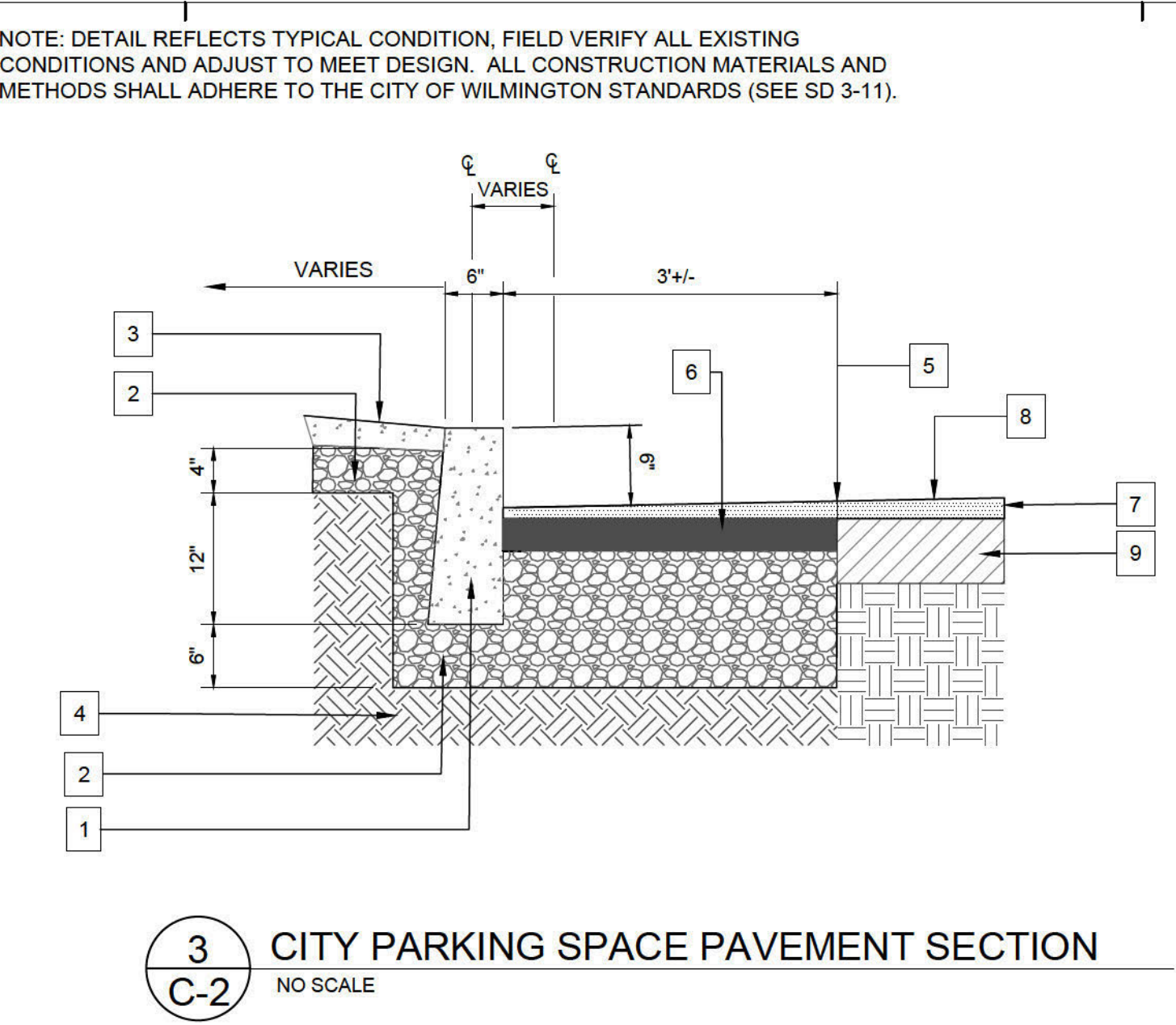
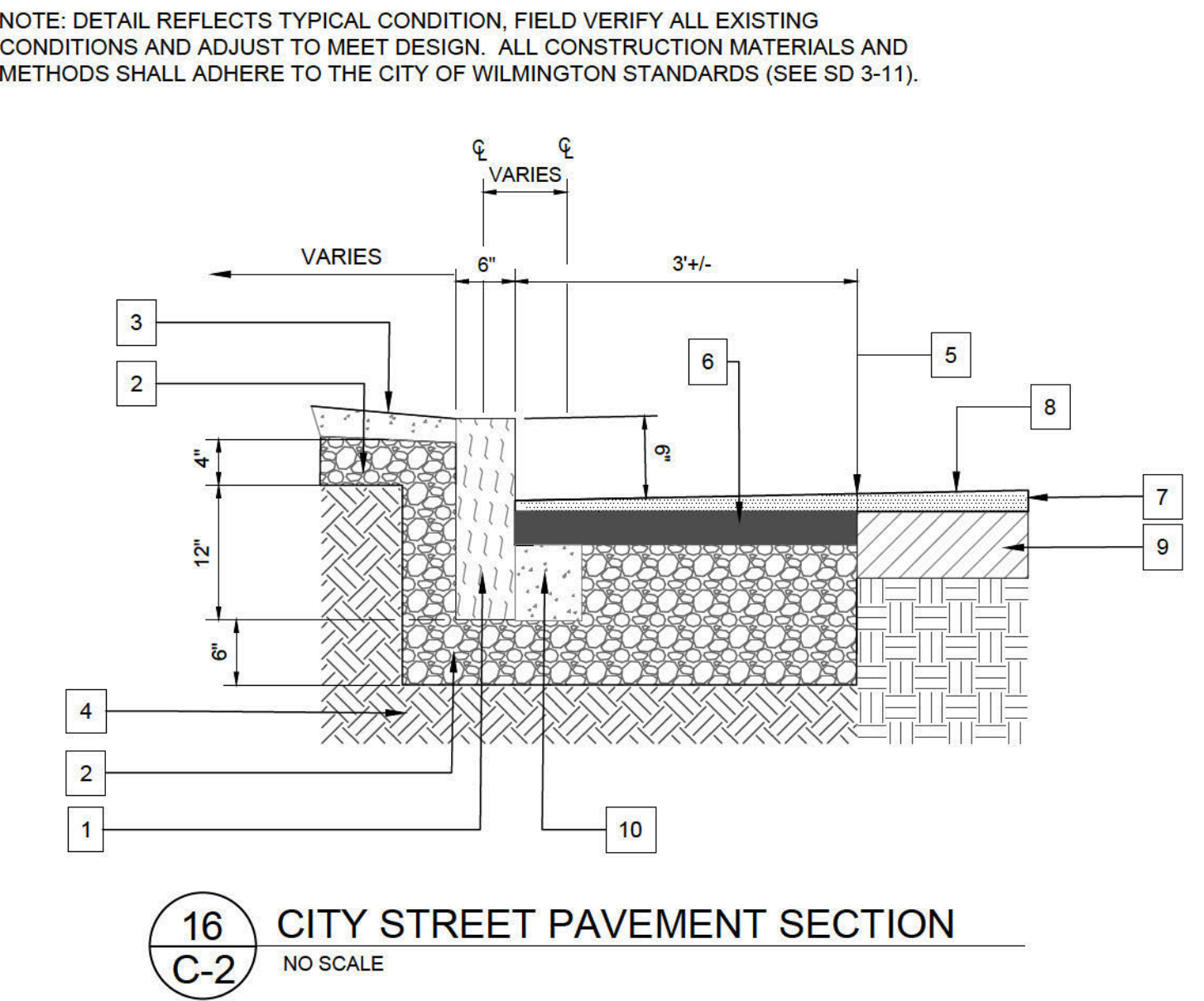


DATE: NOVEMBER, 2011
DRAWN BY: JSR
CHECKED BY: HBR, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
STREET SIGNS AND LOCATION

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SHEET 2 of 2
SD 15-03

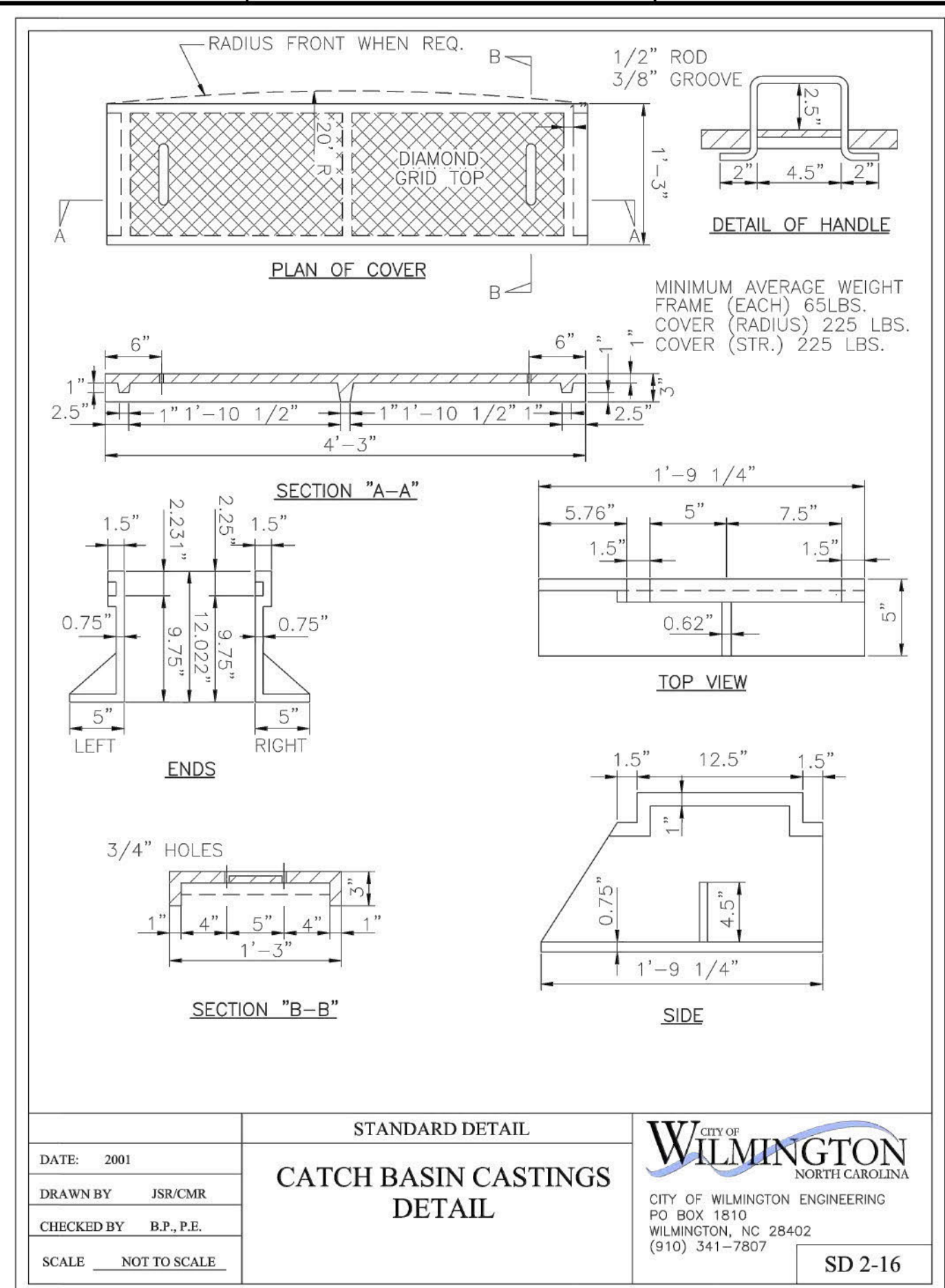


DATE: NOVEMBER, 2011
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SCALE: NOT TO SCALE

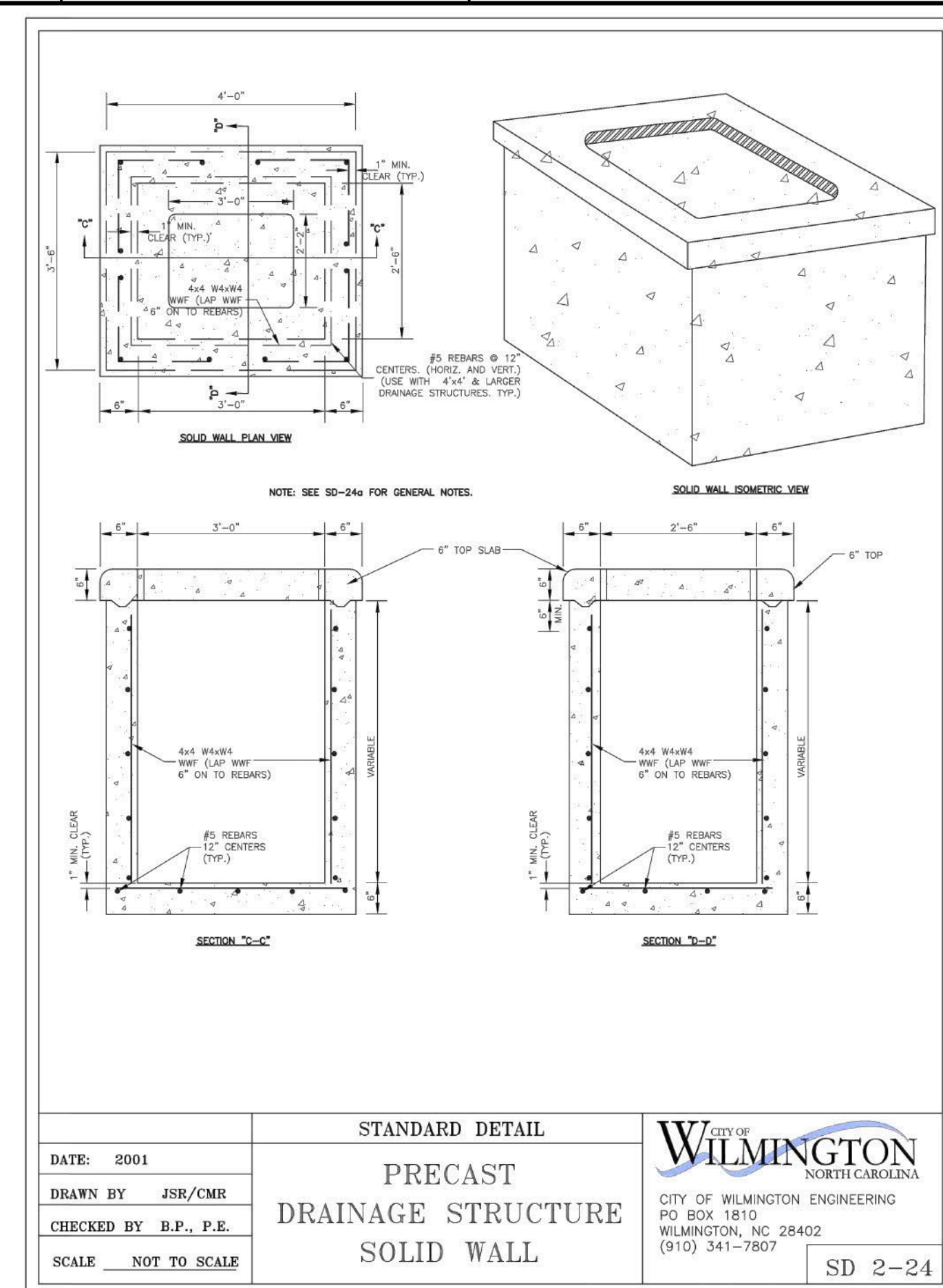
STANDARD DETAIL
CITY PARKING SPACE PAVEMENT SECTION

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

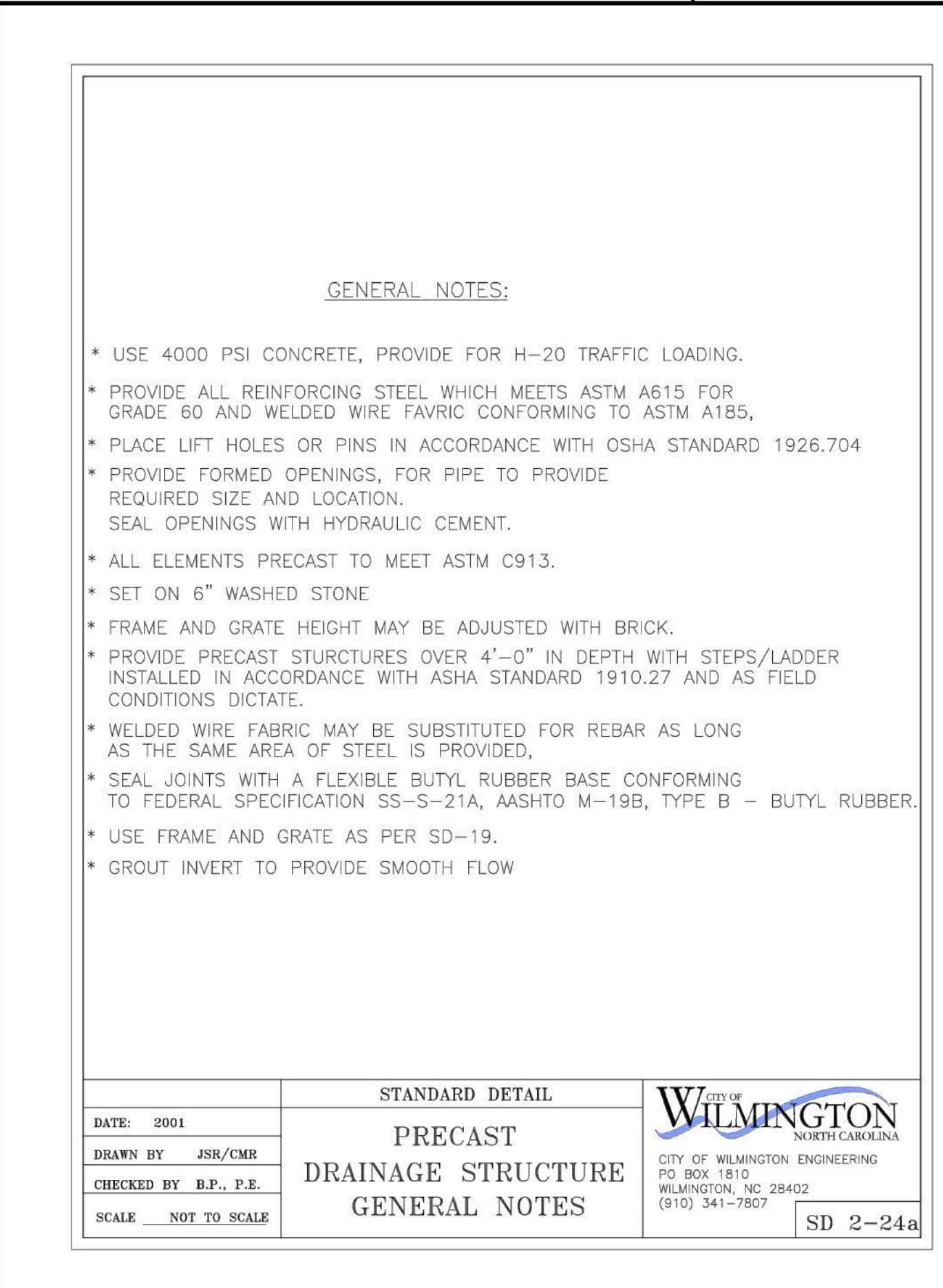
SD 15-03



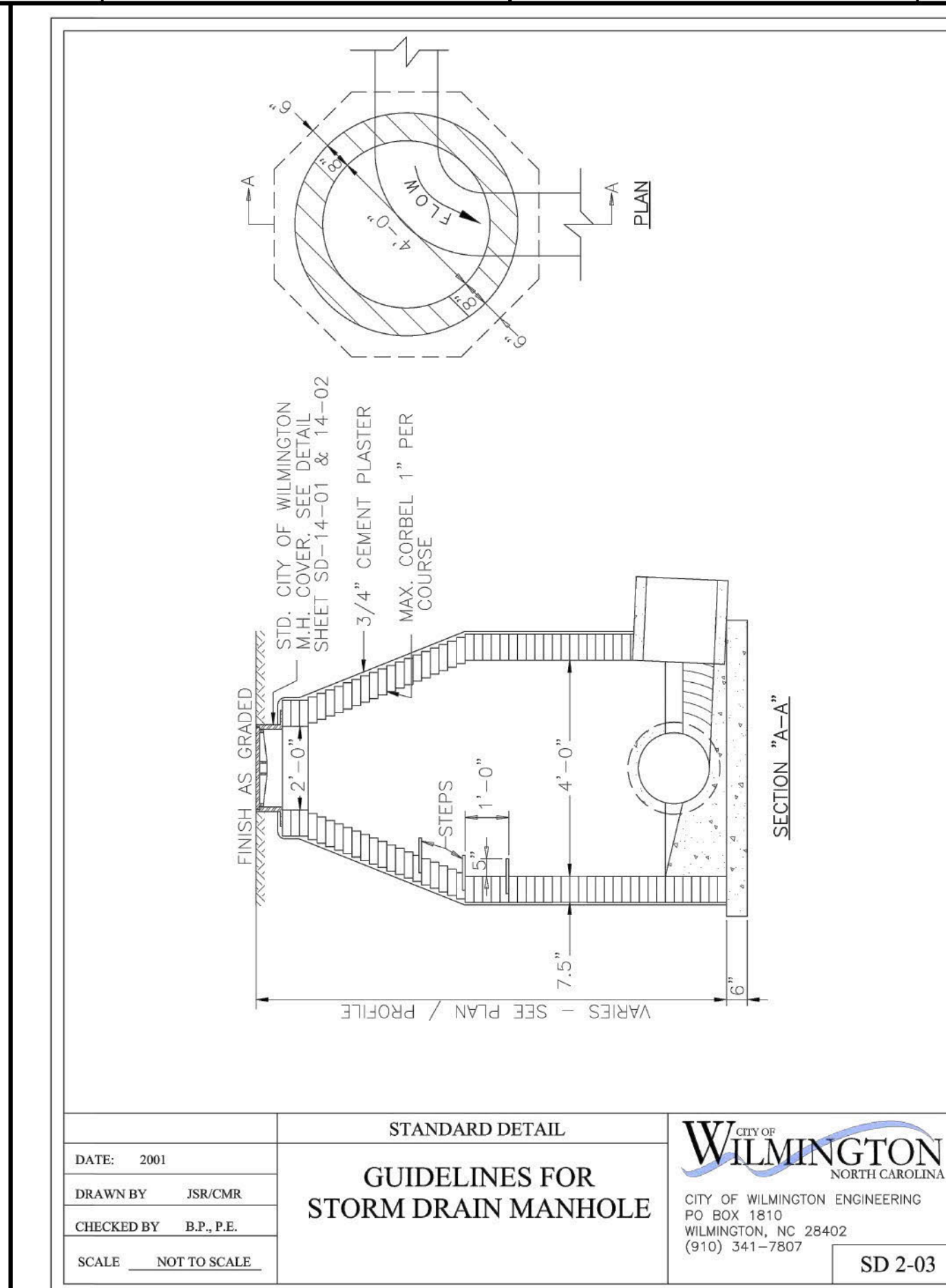
DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	CATCH BASIN CASTINGS DETAIL	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 2-16
SCALE: NOT TO SCALE		



DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	PRECAST DRAINAGE STRUCTURE SOLID WALL	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 2-24
SCALE: NOT TO SCALE		



DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	PRECAST DRAINAGE STRUCTURE GENERAL NOTES	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 2-24a
SCALE: NOT TO SCALE		



DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	GUIDELINES FOR STORM DRAIN MANHOLE	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 2-03
SCALE: NOT TO SCALE		

PARAMOUNTE ENGINEERING INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (C) (910) 791-6700 (F)
NC License # C-2846

APPROVED CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

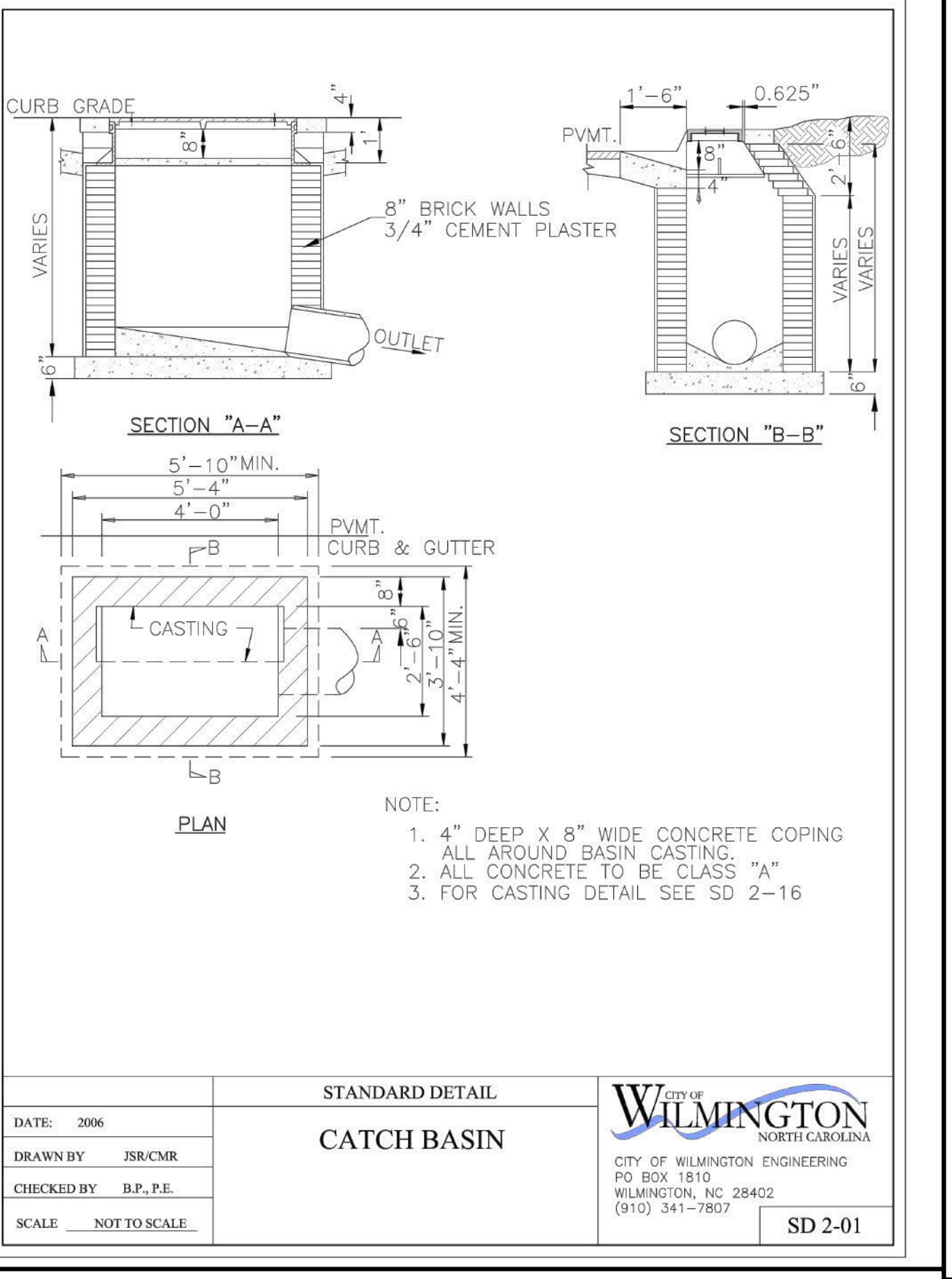
APPROVED
By waltonj at 1:42 pm, Nov 05, 2020

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

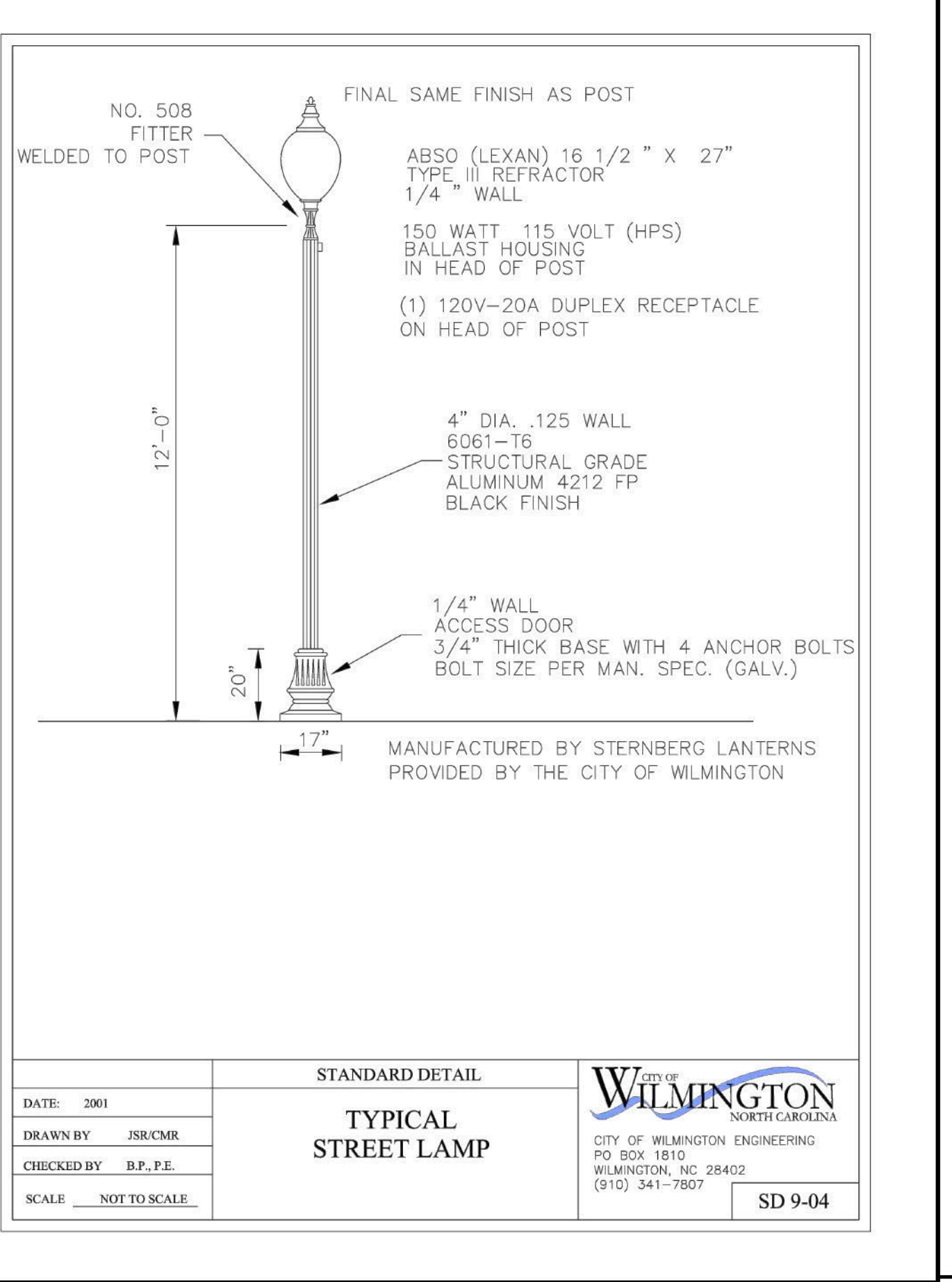
RIVERBEND #1 LLC
P.O. Box 1087
West End, NC 27376

RIVERBEND
316 N. 2ND STREET

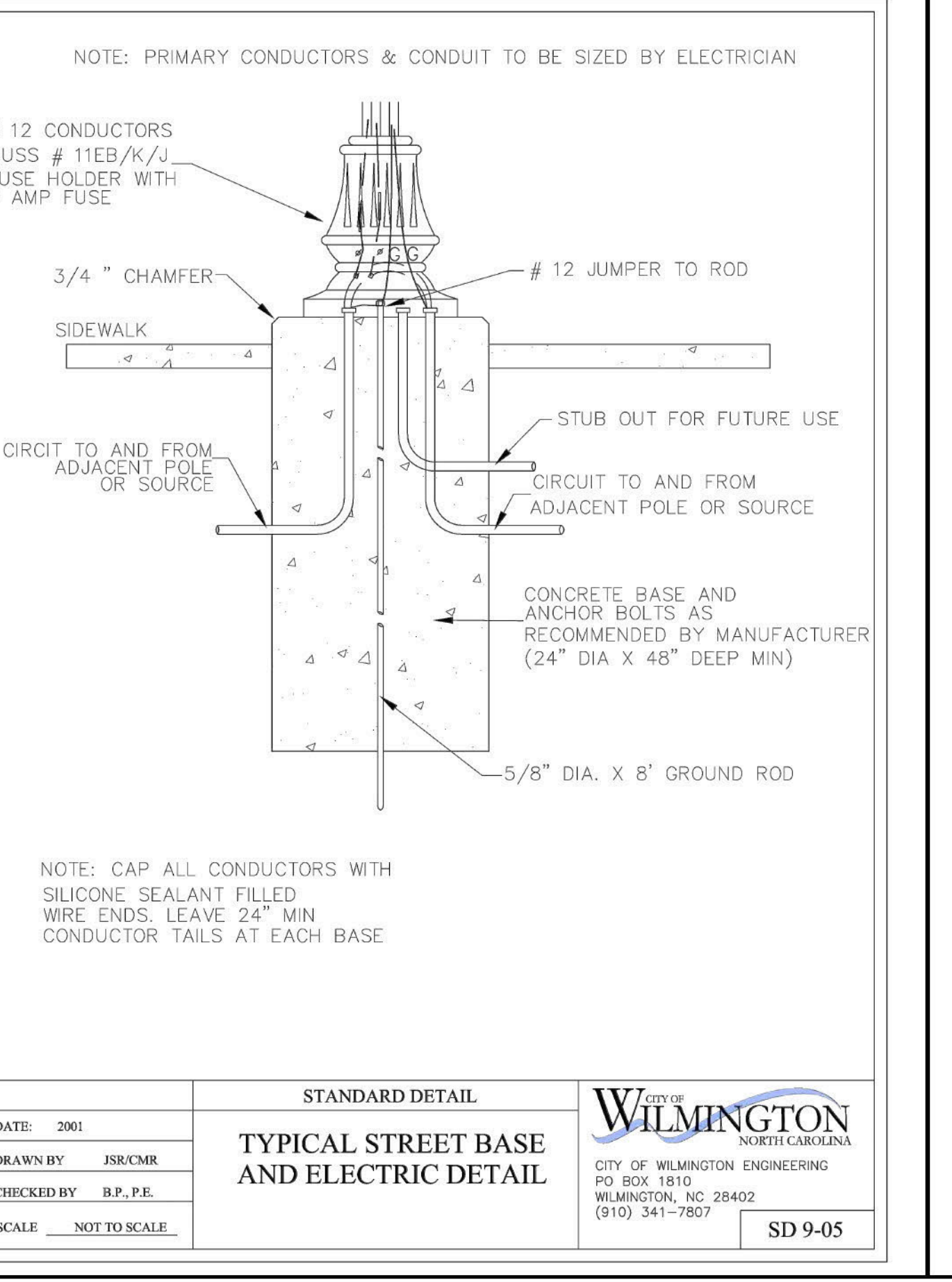
LS3P ASSOCIATES LTD.
101 NORTH THIRD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
TEL. 910.790.9901 FAX 910.790.3111
WWW.LS3P.COM



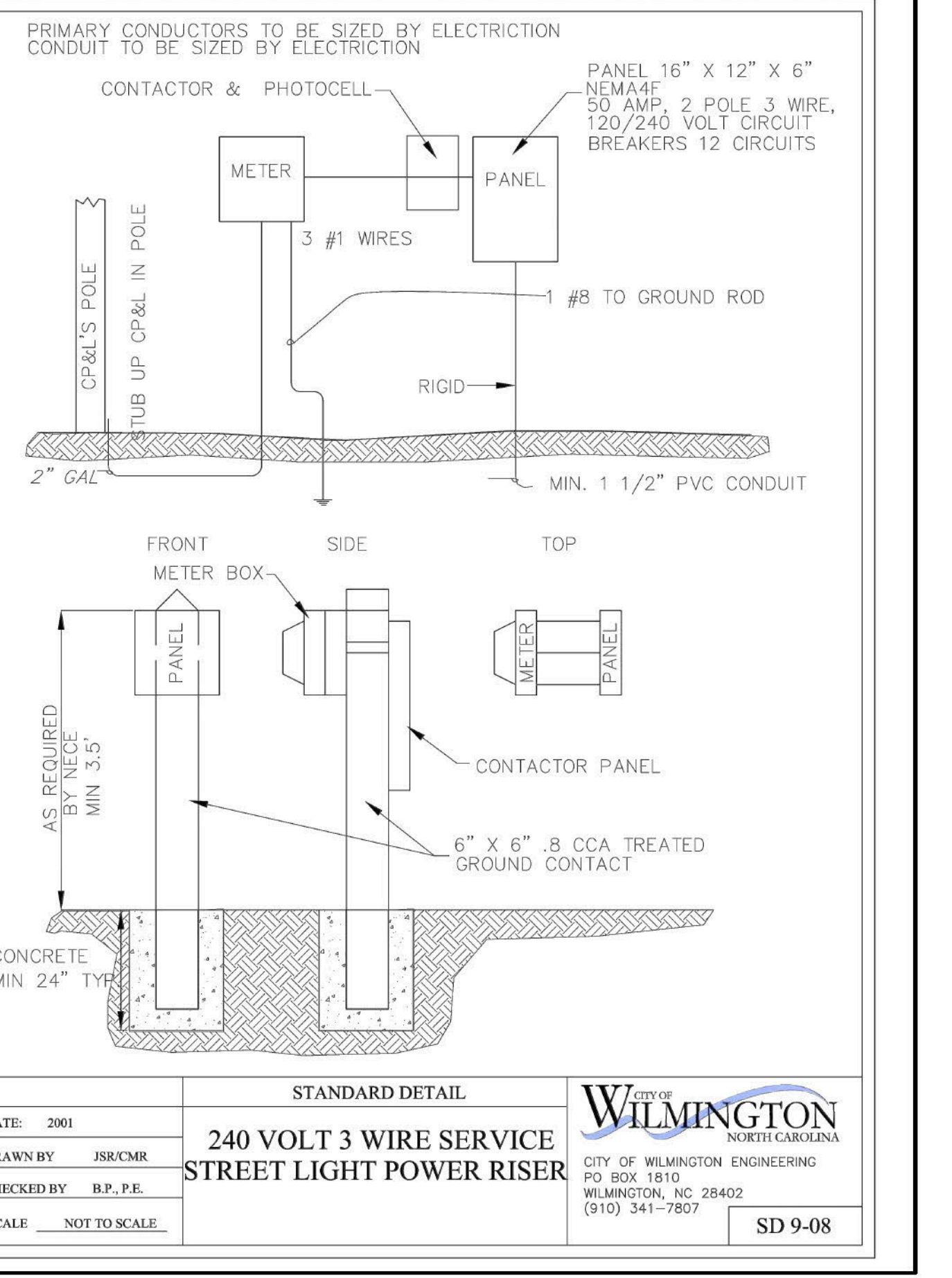
DATE: 2006	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	CATCH BASIN	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 2-01
SCALE: NOT TO SCALE		



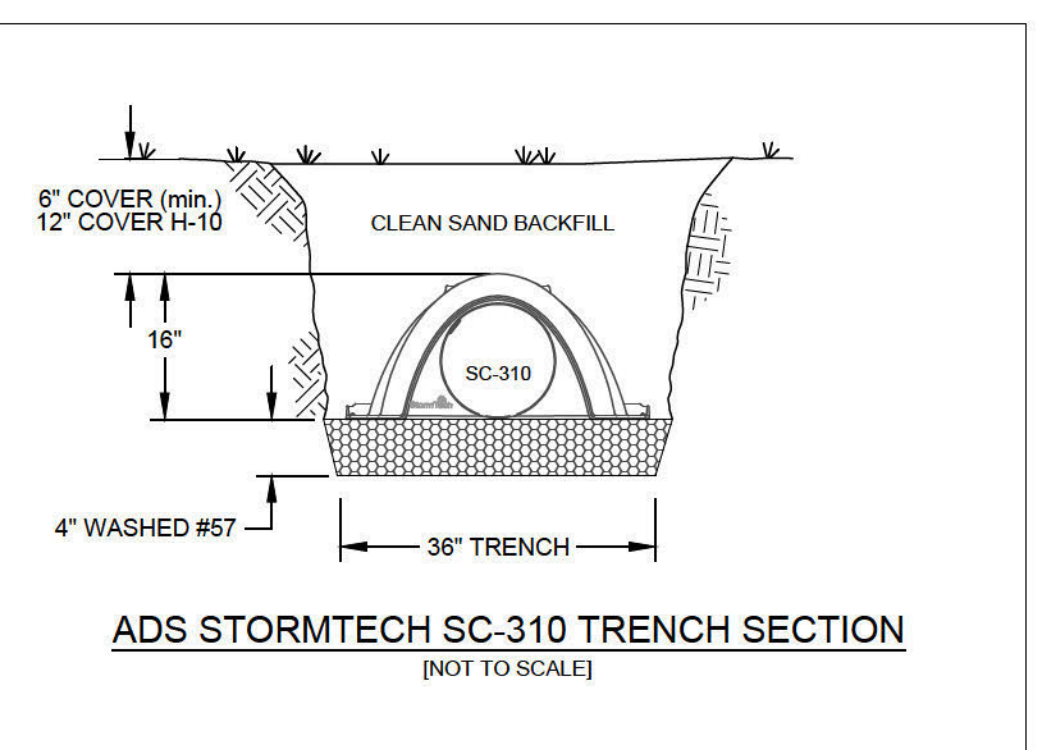
DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	TYPICAL STREET LAMP	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 9-04
SCALE: NOT TO SCALE		



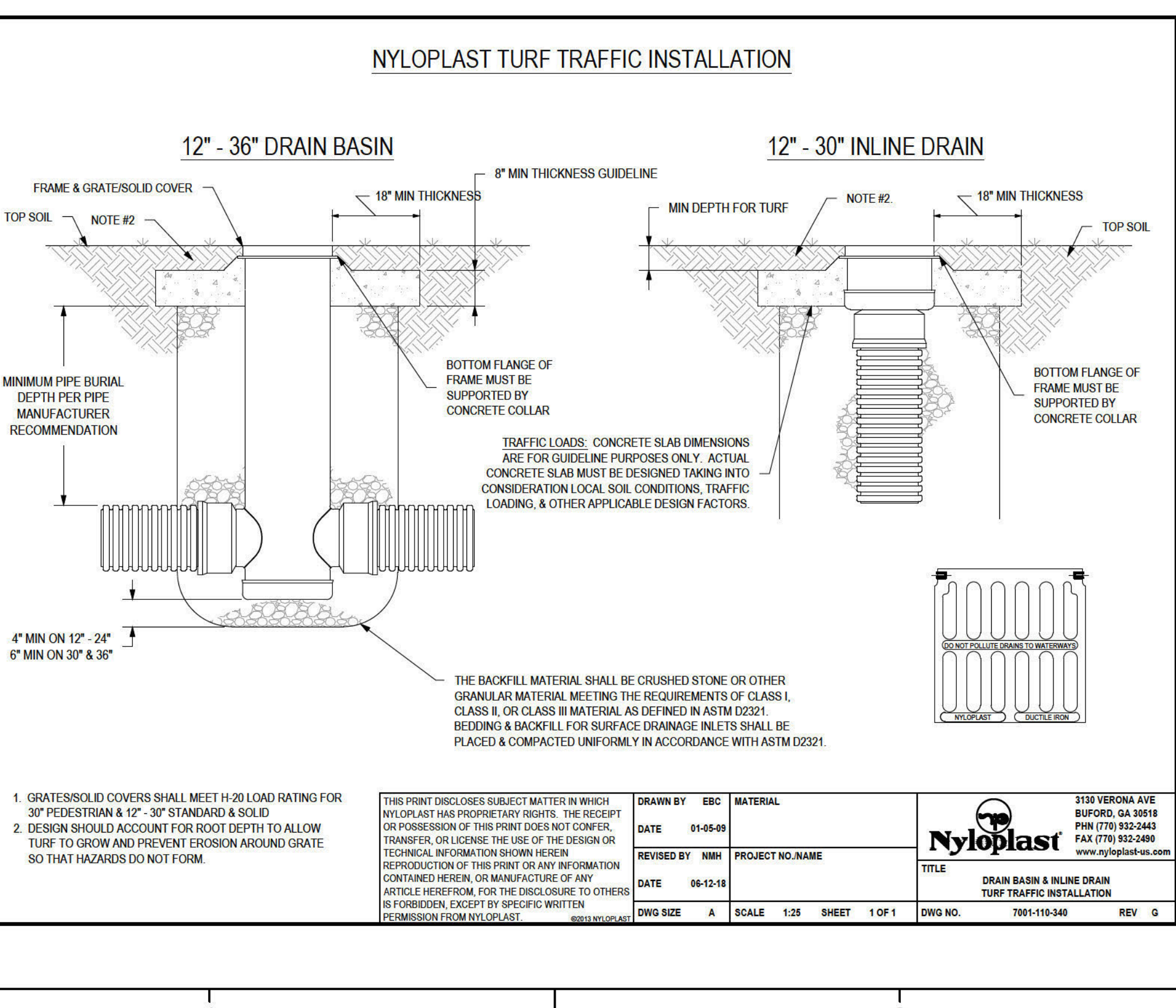
DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	TYPICAL STREET BASE AND ELECTRIC DETAIL	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 9-05
SCALE: NOT TO SCALE		



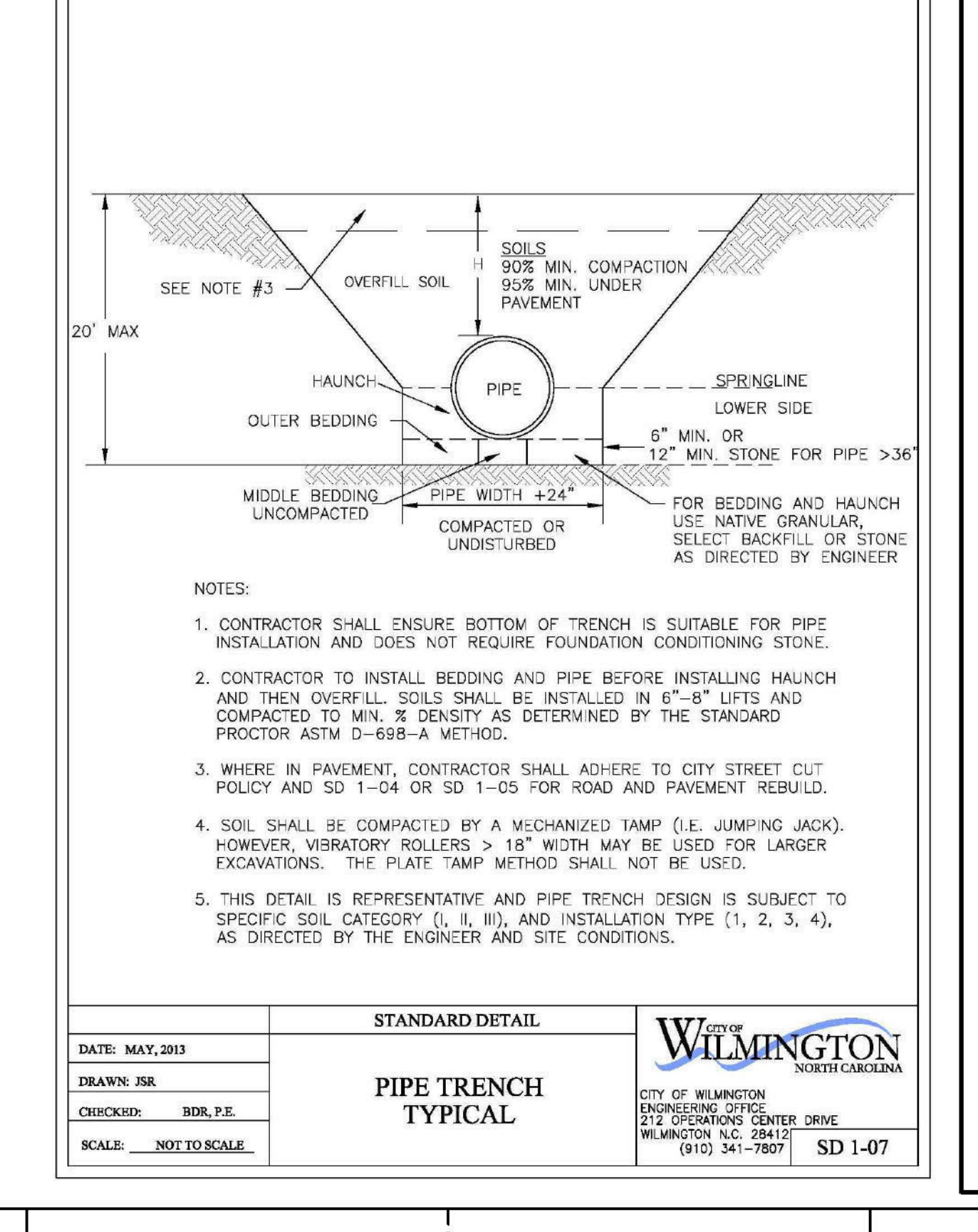
DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	240 VOLT 3 WIRE SERVICE STREET LIGHT POWER RISER	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 9-08
SCALE: NOT TO SCALE		



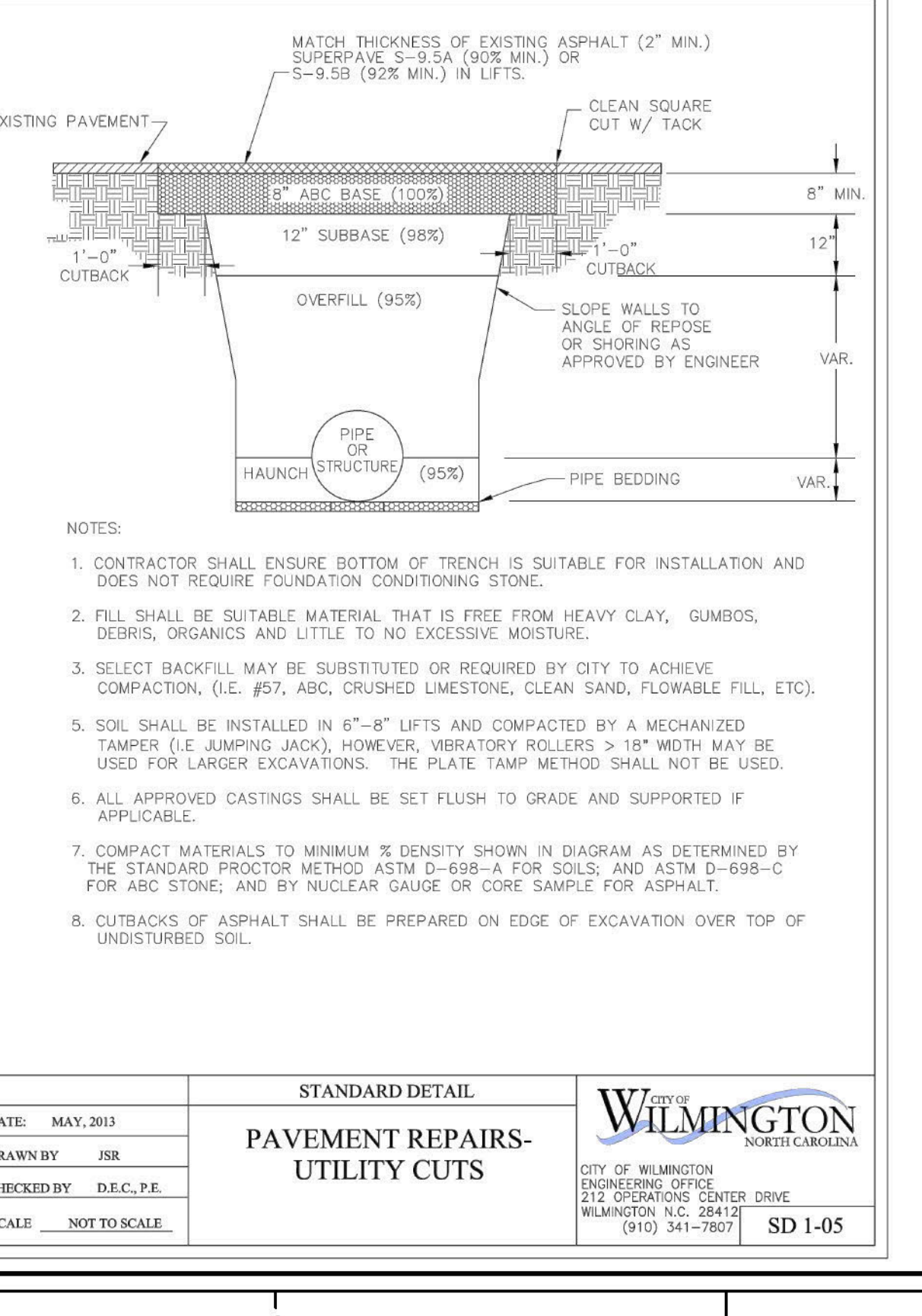
DATE: 2001	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR/CMR	ADS STORMTECH SC-310 TRENCH SECTION	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 9-08
SCALE: NOT TO SCALE		



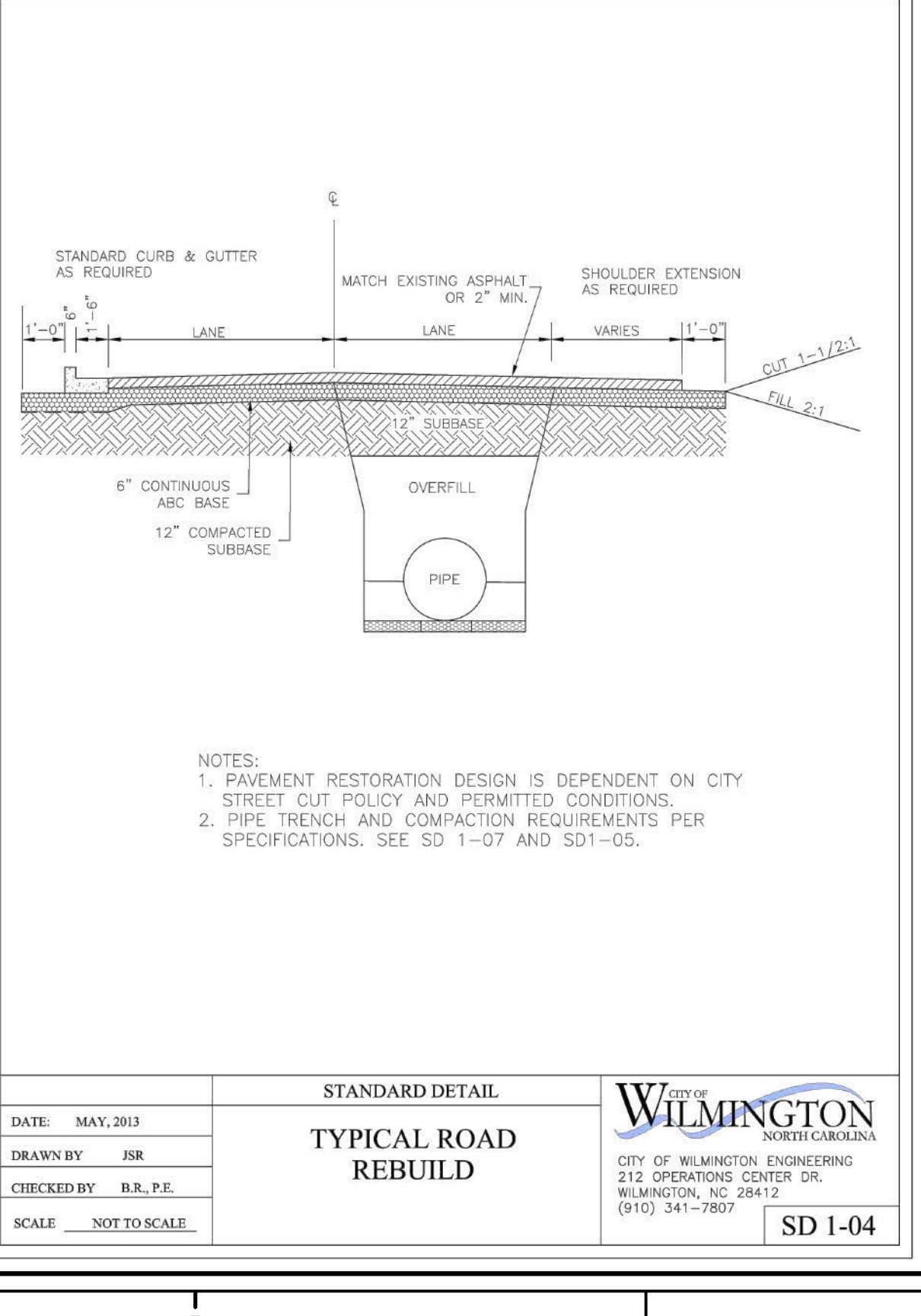
DATE: MAY, 2003	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR	PIPE TRENCH TYPICAL	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 1-07
SCALE: NOT TO SCALE		



DATE: MAY, 2003	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR	PIPE TRENCH TYPICAL	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 1-07
SCALE: NOT TO SCALE		



DATE: MAY, 2003	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR	PAVEMENT REPAIRS-UTILITY CUTS	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 1-05
SCALE: NOT TO SCALE		



DATE: MAY, 2003	STANDARD DETAIL	WILMINGTON
DRAWN BY: JSR	TYPICAL ROAD REBUILD	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY: B.P., P.E.		SD 1-04
SCALE: NOT TO SCALE		

REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: CDR
CHECKED BY: JBS

DETAILS

C-5.1

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN

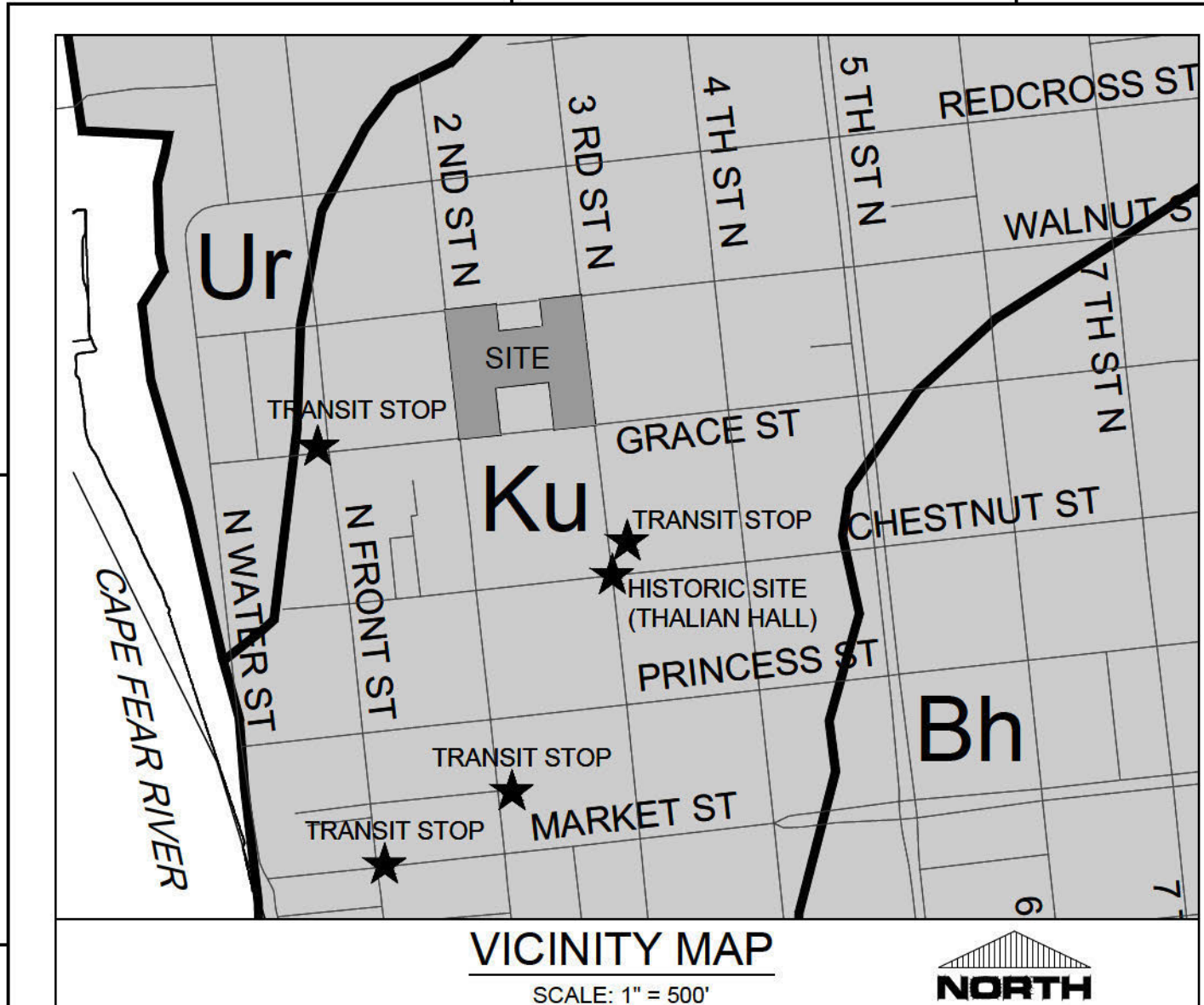
REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: OCT. 27, 2020
DRAWN BY: AHE
CHECKED BY: MEN

LANDSCAPE
PLAN

L-1.0



SITE DATA TABULATION

CURRENT ZONING: CBD (CENTRAL BUSINESS DISTRICT)

LANDSCAPING
PARKING AREA LANDSCAPING:
PARKING AREA IS ENTIRELY LOCATED UNDER THE STRUCTURE OF THE BUILDING. NO LANDSCAPE IS PROVIDED IN PARKING AREAS

BUILDING SETBACK:
THE BUILDING WILL BE LOCATED ON OR SET BACK LESS THAN ONE FOOT FROM THE PROPERTY LINES. ENTIRE AREA FROM CURB TO BUILDING WILL BE HARDSCAPE OR STREET TREE PLANTING AS INDICATED ON THE PLAN.

STREET TREES:
STREET TREE REQUIREMENT: 1 TREE/30 FT. OF FRONTAGE
WALNUT STREET REQUIRED: 122 FT OF FRONTAGE - 0' OF DRIVEWAY = 122' / 30 = 4 TREES
WALNUT STREET PROVIDED: 4 TREES

2ND STREET REQUIRED: 331 FT OF FRONTAGE - 24' OF DRIVEWAY = 307' / 30 = 10 TREES
2ND STREET PROVIDED: 10 TREES

GRACE STREET REQUIRED: 98 FT OF FRONTAGE - 79' OF DRIVEWAY = 19' / 30 = 1 TREE
GRACE STREET PROVIDED: 2 TREES

3RD STREET - EXISTING TREES TO REMAIN

TREE REMOVAL:
NO TREES EXIST ON THE SITE, NO MITIGATION REQUIRED

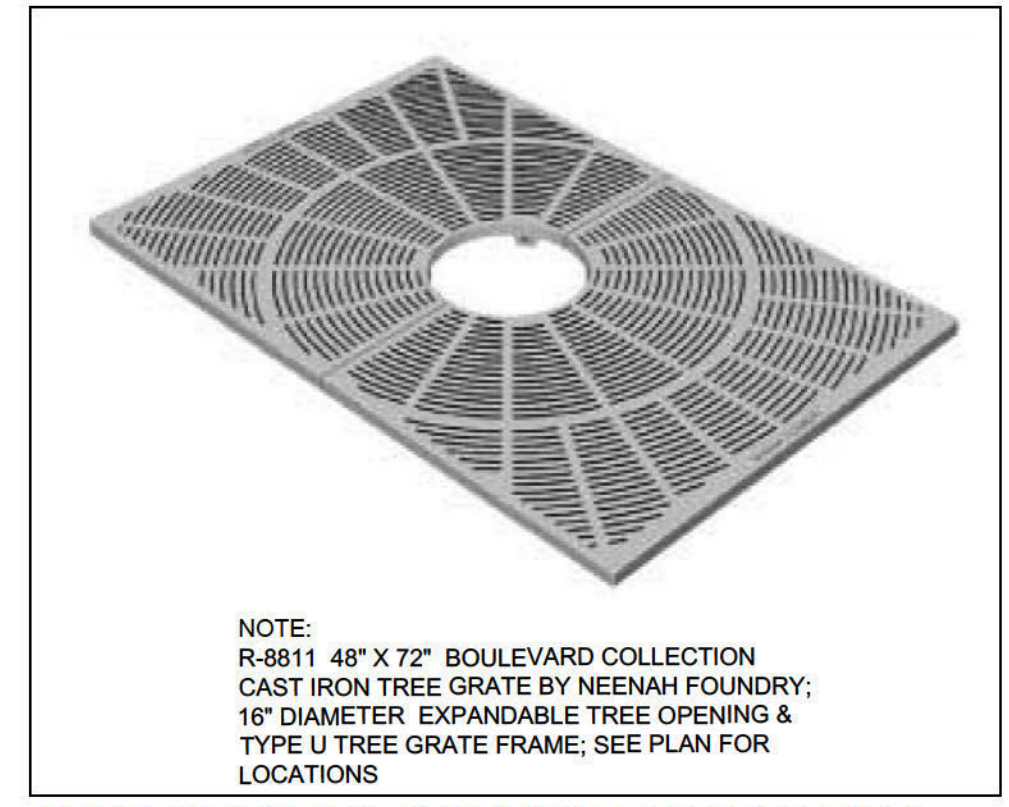
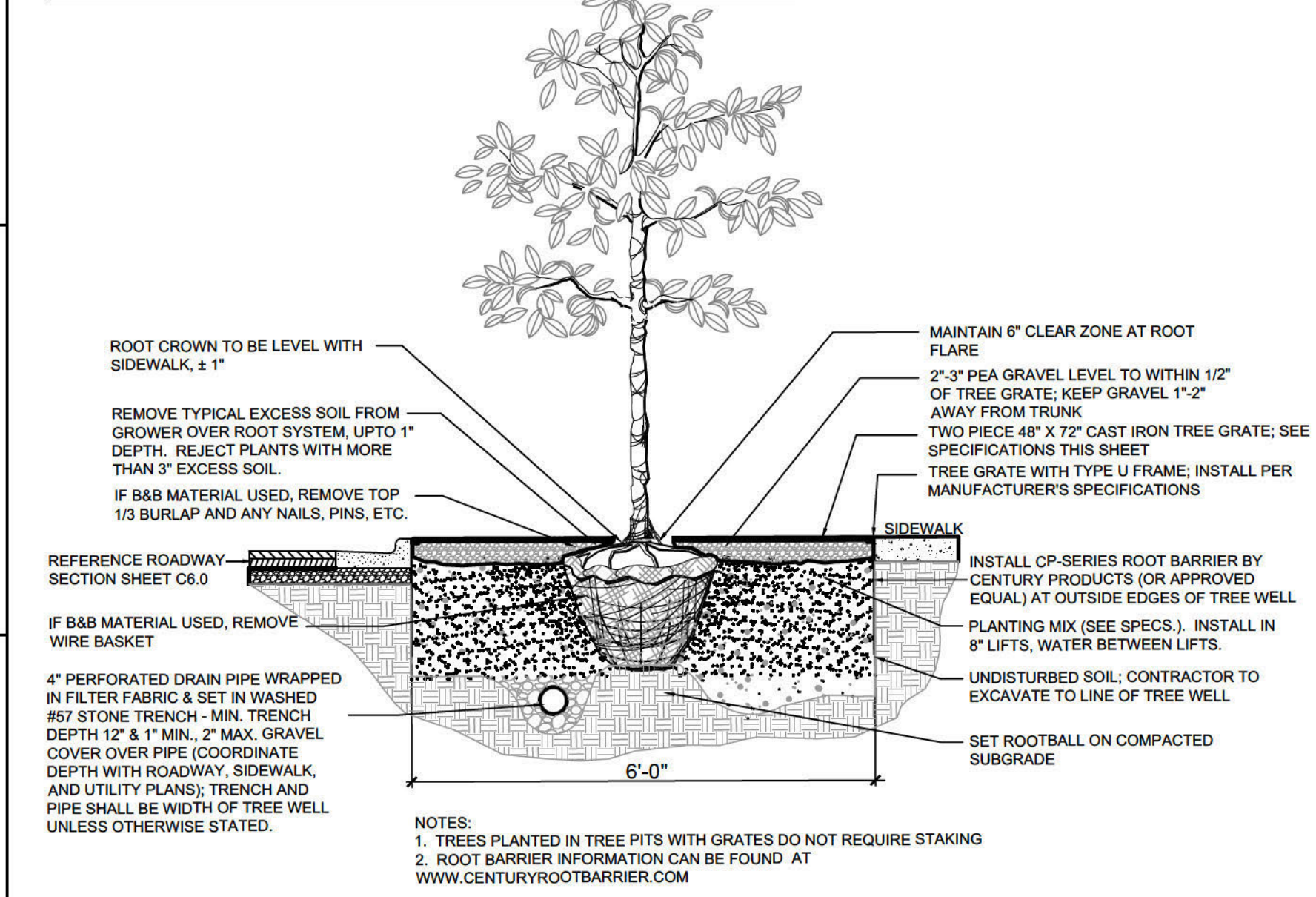
- LANDSCAPE NOTES:**
- Contractor is responsible for identifying all utilities prior to beginning construction. Reference City of Wilmington Notes on Site Plan for more information.
 - Trees shall be located a minimum of 5 feet from sewer/water connections or as otherwise dictated by local regulations. Contractor shall be liable for damage to any and all public or private utilities.
 - All plant material shall meet the current version of the American Association of Nurserymen's Standards.
 - No existing trees shall be removed without approved tree removal permit from the City of Wilmington.
 - All planting areas, mulch areas and tree wells (excluding seeded areas) shall be mulched with 3 inch minimum and 4 inch maximum depth double shredded hardwood mulch unless otherwise noted.
 - Planting soil mix: Mix existing soil with the soil amendments and fertilizers in the quantities recommended by the soil testing laboratory, third party recognized by the State department of Agriculture or as otherwise approved by the Landscape Architect or Owner's Representative.
 - Any and all substitutions of plant material shall be approved by Landscape Architect or Owner's Representative. Failure in obtaining approval may result in liability to the Contractor.
 - The Contractor shall replace dead and/or unhealthy plant material within 12 months of acceptance of the installed material from the Owner or Owner's Representative.
 - The Contractor shall prepare all seeded or sodded areas to assure that the subgrade has been raked and rolled to accept the sod/seed. All sod/seeded areas must be irrigated or hand watered. All sod shall be placed with staggered joints and no gaps between sod joints. Sod should be rolled after installation. All seeded and/or sodded areas should provide a smooth surface free of dips and unlevelled ground.
 - Any irrigation shall be designed and installed by a licensed irrigation contractor in the state of North Carolina.
 - The Contractor is responsible for hand watering the installed plant material for a period of 6 months from the acceptance from the Owner or Owner's Representative if irrigation has not been installed. During the first 3 months, all material including seeded or sodded areas shall be hand watered once weekly or as needed to ensure survival of plants. The remaining 3 months all material shall be hand watered once per week.
 - Contractor is responsible for removing trash, debris and excess materials from the job site once the project is complete. Securing any materials left on site during the course of the project is the Contractor's responsibility and the Contractor will be required to replace any materials at the Contractor's cost.
 - There are no known conservation resources associated with this parcel.
 - Reference site plan and demolition plans for existing and proposed utility information.
 - Contractor shall supply all tree grates and root barriers as specified or substituted materials as approved by Owner and City of Wilmington.
 - Contractor is responsible for restoring/rebuilding the 3rd Street streetscape to existing conditions and as acceptable to City of Wilmington.
 - Contractor is responsible for obtaining 3rd Street streetscape plans from City of Wilmington prior to installation of any materials along 3rd Street.
 - Contractor is responsible for transplanting, holding/storing/stock piling and replanting/reinstalling all existing plant material and streetscape materials along 3rd Street. Contractor shall replace any damaged or unsatisfactory material with new material to match the same size, type and color of material installed back on site.
 - If sidewalks, planters, benches, tree grates, brick pavers, or curbing are damaged during removal, storage, or construction, the applicant shall replace them using an approved contractor in accordance with NCDOT or City of Wilmington Standards.

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	ZEL WIR	Zelkova serrata 'Wireless' Wireless Zelkova	2.5' cal	9
	ZEL C-S	Zelkova serrata 'City Sprite' City Sprite Zelkova	2.5' cal	8

MAINTENANCE NOTE:

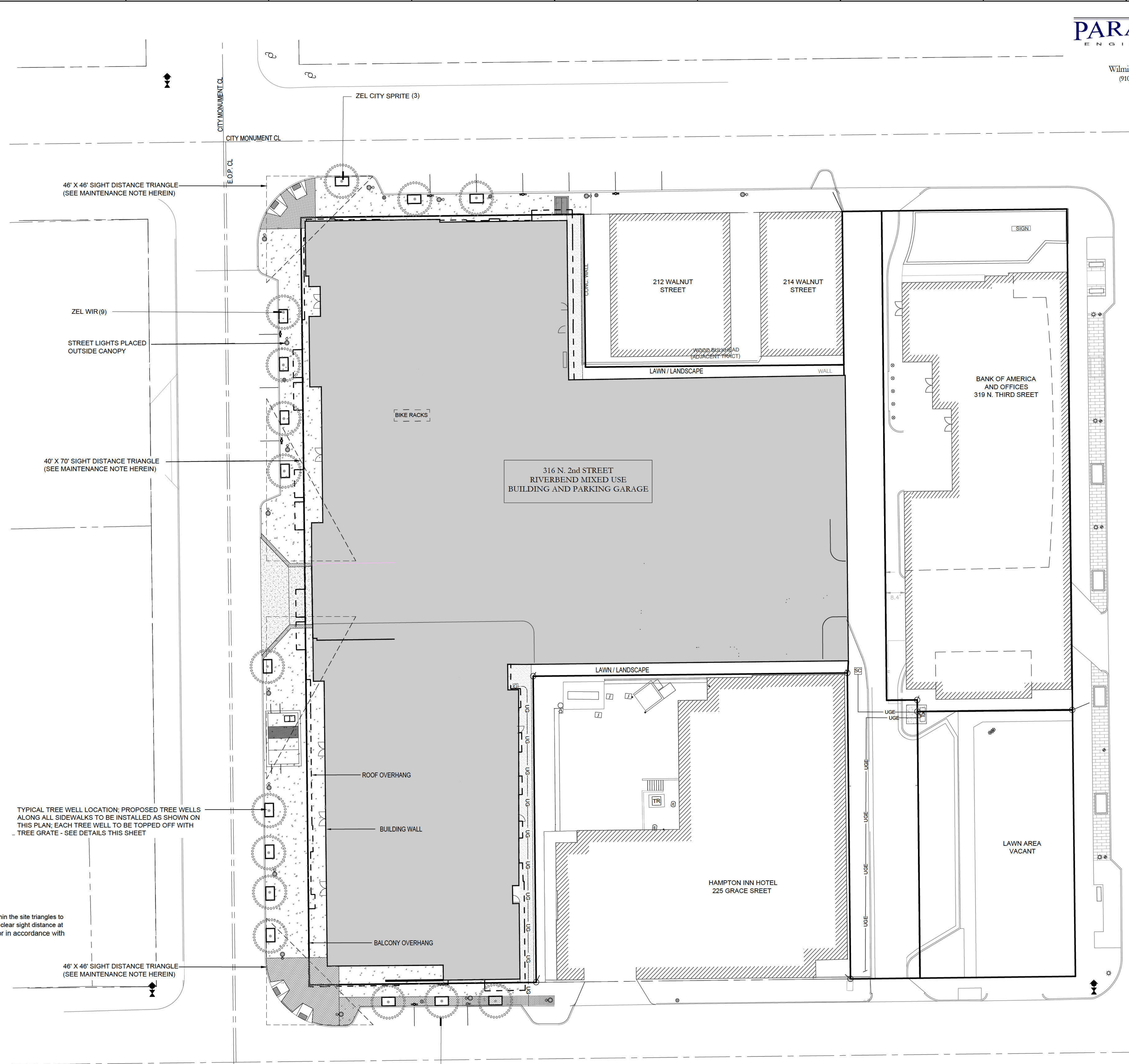
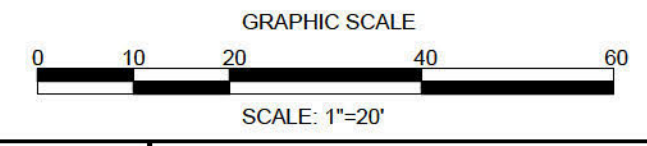
- Owner is responsible for maintaining the trees within the site triangles to be trimmed from 30-inches up to 10-ft to maintain clear sight distance at intersections and driveways. approved contractor in accordance with NCDOT or City of Wilmington Standards.



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED
By waltonj at 1:42 pm, Nov 05, 2020

APPROVED
CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB



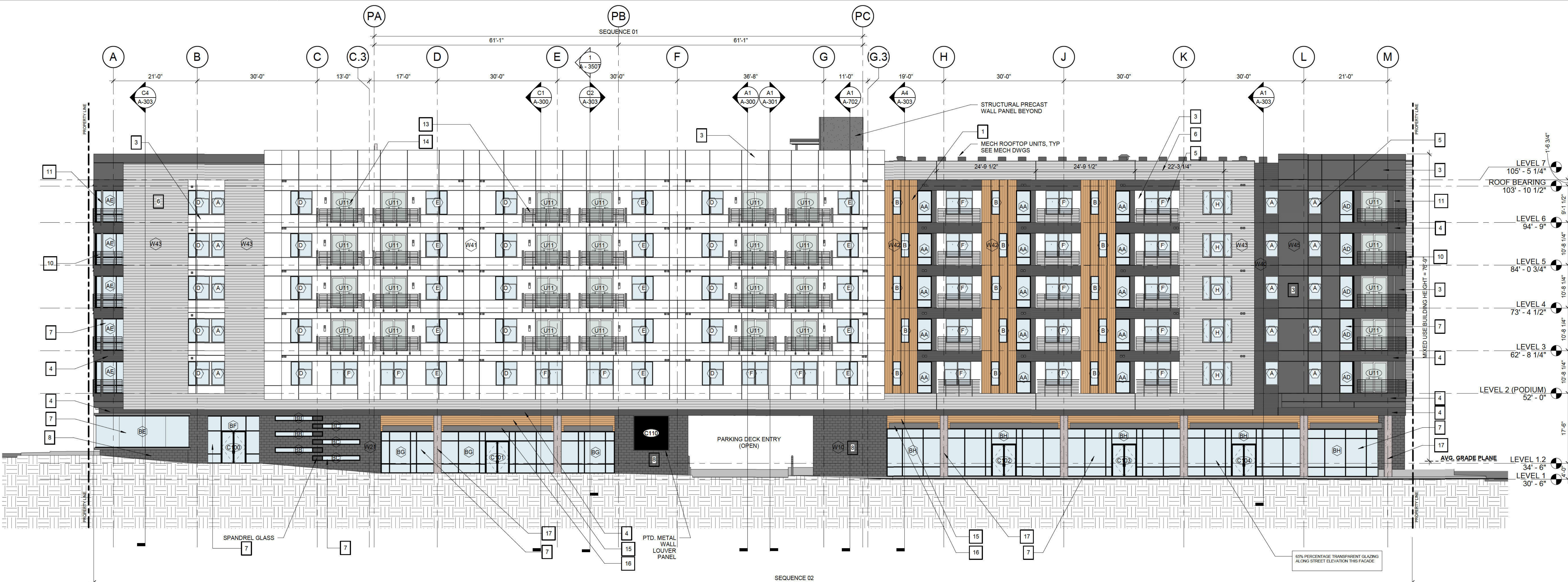


- ### ELEVATION KEYNOTE
1. VERTICAL WOOD PANEL SYSTEM WITH REVEALS, TYP.
 2. STRUCTURAL PRECAST WALL PANELS, TYP.
 3. SMOOTH FIBER CEMENT SIDING WITH REVEALS, TYP.
 4. CORRUGATED METAL WALL PANEL
 5. VINYL WINDOW UNIT, TYP.
 6. FIBER CEMENT LAP SIDING, TYP.
 7. ALUMINUM AND GLASS STOREFRONT SYSTEM, TYP.
 8. 4\"/>

APPROVED
CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

APPROVED
By waltonj at 1:45 pm, Nov 05, 2020

C1 EXTERIOR ELEVATION - NORTH (WALNUT STREET)
3/32" = 1'-0"



A1 EXTERIOR ELEVATION - WEST (2ND STREET)
3/32" = 1'-0"

RIVERBEND #1,
LLC

RIVERBEND @
2ND & GRACE

LS3P
101 N. THIRD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
TEL. 910.790.9901 FAX 910.790.3111
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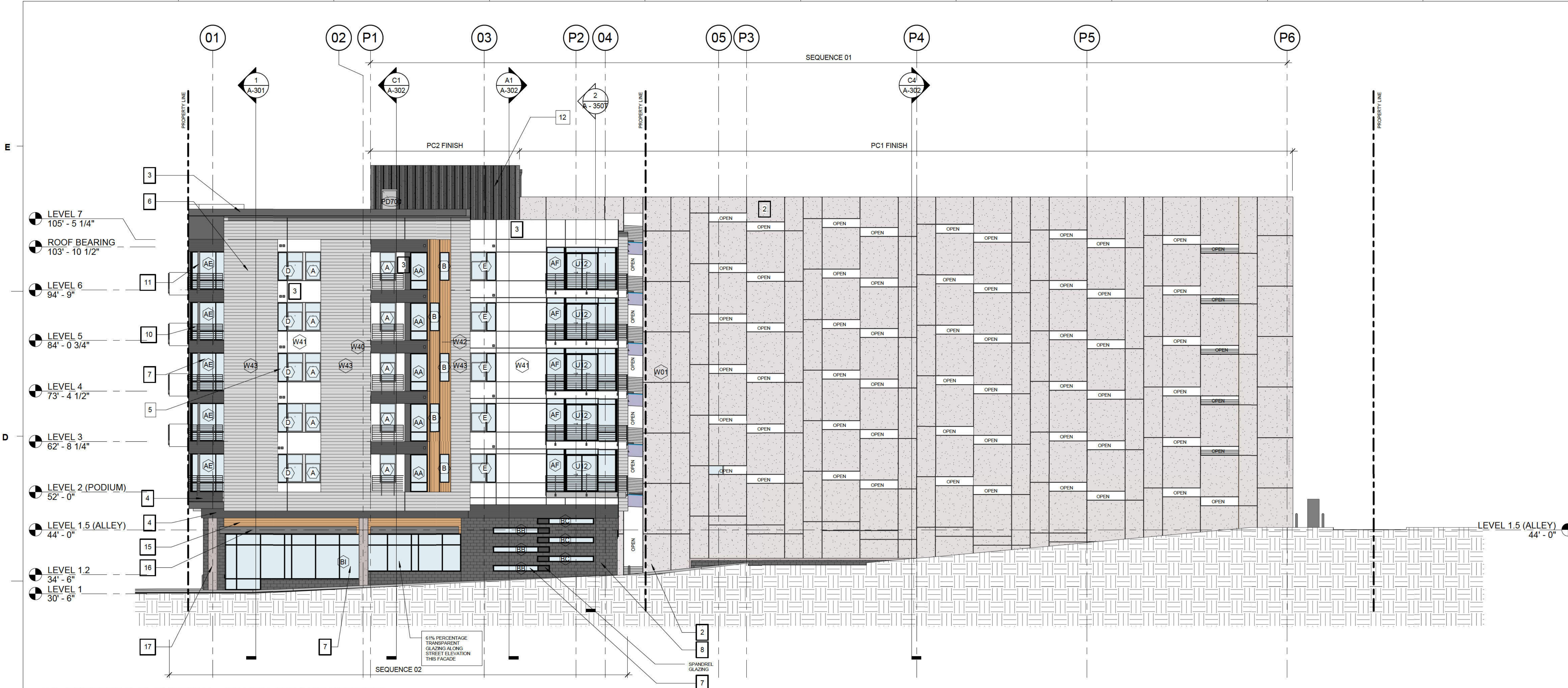
No.	Description	Date

PROJECT: 7106-160300
DATE: 20 SEPT 2019
DRAWN BY: JES, AF
CHECKED BY: CDA

EXTERIOR
ELEVATIONS N&W

A-200

C:\Temp\Arch_Riverbend_2018_jamesmith.rvt
9/25/2019 2:49:31 PM



- ### ELEVATION KEYNOTE
1. VERTICAL WOOD PANEL SYSTEM WITH REVEALS, TYP.
 2. STRUCTURAL PRECAST WALL PANELS, TYP.
 3. SMOOTH FIBER CEMENT SIDING WITH REVEALS, TYP.
 4. CORRUGATED METAL WALL PANEL
 5. VINYL WINDOW UNIT, TYP.
 6. FIBER CEMENT LAP SIDING, TYP.
 7. ALUMINUM AND GLASS STOREFRONT SYSTEM, TYP.
 8. 4" POLISHED CMU MASONRY VENEER, TYP.
 9. SMOOTH FIBER CEMENT, TYP.
 10. PAINTED GALVANIZED STEEL GUARDRAILS WITH HORIZONTAL BALUSTERS
 11. PAINTED GALVANIZED STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
 12. STRUCTURAL PRECAST WALL WITH FORMINER. PATTERN: RANDOM
 13. PAINTED GALVANIZED STEEL GUARDRAILS WITH HORIZONTAL BALUSTERS AND FIBER CEMENT SIDES
 14. VINYL SLIDING GLASS DOOR UNIT, TYP.
 15. HORIZONTAL WOOD PANEL SYSTEM, TYP.
 16. STEEL CHANNEL SIGN BAND PAINTED, TYP.
 17. POURED IN PLACE CONCRETE COLUMN, TYP.
 18. STRUCTURAL PRECAST CONCRETE DOUBLE T. FLOOR SYSTEM, SEE PRECAST DRAWINGS, TYP.
 19. DOWNSPOUT WITH CONDUCTOR HEAD
 20. CABLE GUARDRAIL AT 42" AFF, TYP.
 21. STRUCTURAL PRECAST CONCRETE SHEAR WALL AND LIGHT OPENINGS, TYP.
 22. STRUCTURAL PRECAST CONCRETE COLUMN, TYP.
 23. STRUCTURAL PRECAST CONCRETE KNEE WALL
 24. SLAB ON GRADE. SEE STRUCTURAL DRAWINGS
 25. PRECAST CONCRETE ROOF PANEL
 26. SPANDREL GLASS PANEL
 27. MECH. ROOFTOP UNITS, TYP. SEE MECH. DRAWINGS

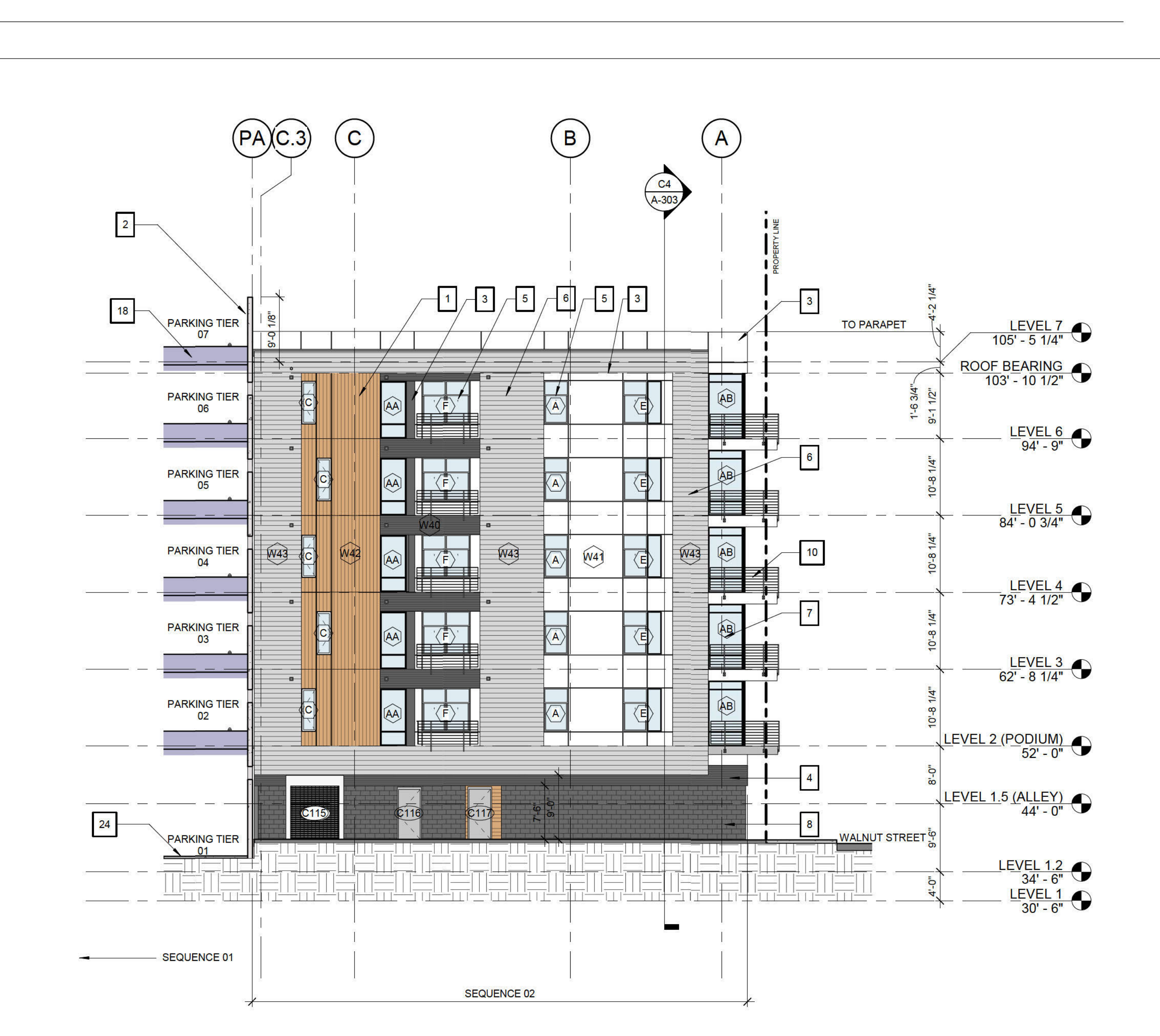
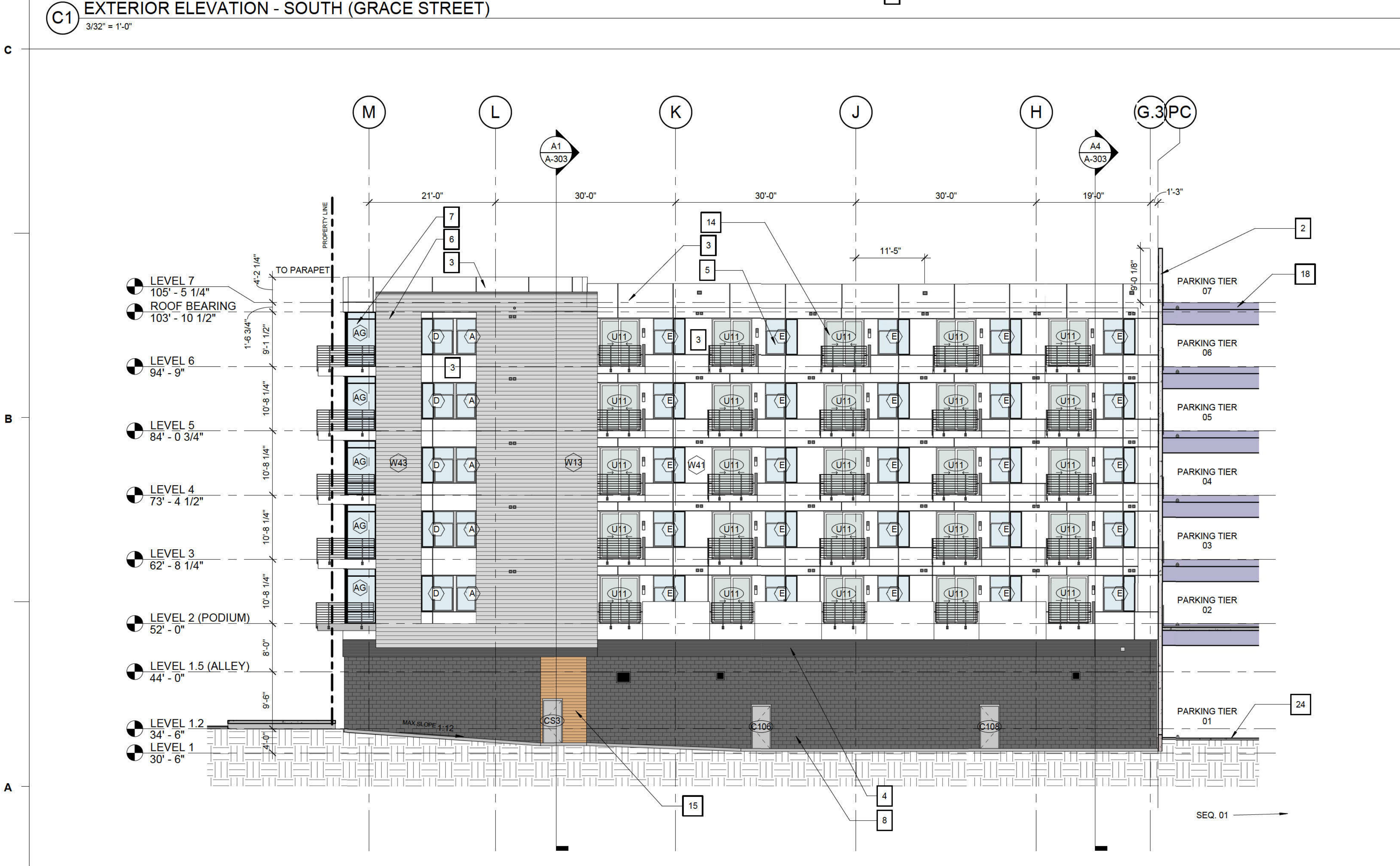
APPROVED
CONSTRUCTION PLAN
Jeff Walton
November 5, 2020
City SW# 2020034
JW, BM, CW, RC, MB

APPROVED
By waltonj at 1:45 pm, Nov 05, 2020

RIVERBEND #1,
LLC

RIVERBEND @
2ND & GRACE

LS3P
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WILMINGTON, NORTH CAROLINA 28401
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REVISIONS:

No.	Description	Date

PROJECT: 7106-160300
DATE: 20 SEPT 2019
DRAWN BY: JES, AF
CHECKED BY: CDA

EXTERIOR
ELEVATIONS S&E

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